

**SAUSALITO PLANNING COMMISSION
RESOLUTION NO. 2025-09**

**APPROVAL OF DESIGN REVIEW PERMIT AS CONDITIONED FOR A
BASEMENT/ GROUND STORY ADDITION TO THE REAR OF
64 LINCOLN DRIVE - APN: 064-321-19
PROJECT ID: 2024-00179**

WHEREAS, an application has been filed by the applicants Meredith Mill, of Millworks, and Doug Milani on behalf of property owners Nick Milani and Taylor Kirchner requesting Planning Commission approval to construct a 436.5 square foot addition in the crawl space and rear with a rooftop deck and exit stairway (the Project) at 64 Lincoln Drive, a condominium unit (APN 064-321-19)(Project); and

WHEREAS, the project site is located within the Medium-High Density Residential land use designation in the General Plan, and the R-2-2.5 (Two-Family) Residential Zoning District; and

WHEREAS, the Planning Commission considered the application during a public meeting on May 14, 2025, at which time all interested persons were given an opportunity to be heard; and

WHEREAS, the Planning Commission has reviewed and considered the information contained in the staff report as well as any and all oral and written testimony on the Project; and

WHEREAS, the Planning Commission has reviewed and considered the Project plans titled "Basement Remodel / Addition with Full Bath and (N) Rear Deck, 64 Lincoln Drive Sausalito, CA 94965", received March 31, 2025; and

WHEREAS, the Planning Commission finds that the Project, as conditioned herein, is consistent with the General Plan and complies with the requirements of the Zoning Ordinance as described in the staff report and findings for approval set forth in Attachment 1;

NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The recitals are true and correct and incorporated herein by this reference.
2. The approval of this Project and this action is Categorically exempt from the California Environmental Quality Act (CEQA), in accordance with Section 15301 of the CEQA Guidelines.
3. This Project is approved based upon the attached findings (Exhibit 1), subject to the attached conditions of approval (Exhibit 2), and as shown in the project plans titled "Basement Remodel / Addition with Full Bath and (N) Rear Deck, 64 Lincoln Drive Sausalito, CA 94965", received March 31, 2025 (Exhibit 3).

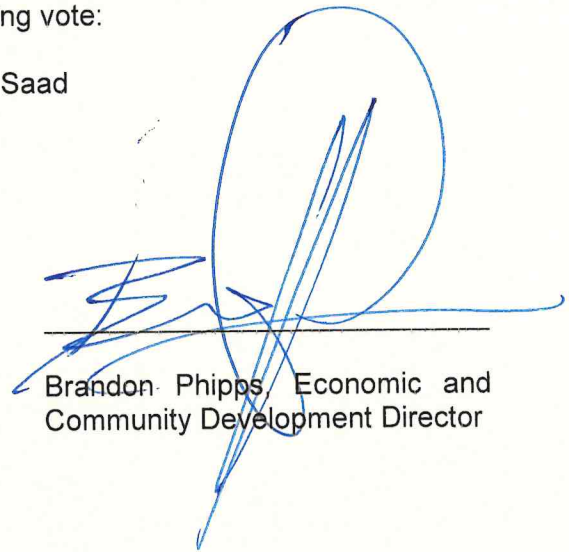
RESOLUTION PASSED AND ADOPTED, at the regular meeting of the Sausalito Planning Commission on the 14th day of May 2025, by the following vote:

AYES: Commissioner: Moore, Marlatt, Luxenberg, Chair Saad

NOES: Commissioner:

ABSENT: Commissioner: Junius

ABSTAIN: Commissioner:



Brandon Phipps, Economic and
Community Development Director

EXHIBITS

Exhibit 1: Findings
Exhibit 2: Conditions of Approval
Exhibit 3: Project Plan

**SAUSALITO PLANNING COMMISSION
RESOLUTION NO. 2025-09
DR 2024-00179 - 64 Lincoln Drive – APN: 064-321-19
MAY 14, 2025**

**EXHIBIT 1:
FINDINGS OF APPROVAL**

DESIGN REVIEW – SMC SECTION 10.54.050 D.

- 1. The proposed project is consistent with the general plan, any applicable specific plans, any applicable design guidelines, and this chapter. (The adopted historic design guidelines can be found in the Community Development Department or the office of the City Clerk.)**

The project site is located within the General Plan Residential Medium-High Density land use designation and the R-2-2.5 Residential Zoning District. The proposed addition is consistent with the existing permitted use under the General Plan and Zoning designation and complies with applicable zoning standards. There are no applicable specific plan or design guidelines for this site or surrounding neighborhood.

- 2. The proposed architecture and site design complements the surrounding neighborhood and/or district by either:**
 - a. Maintaining the prevailing design character of the neighborhood and/or district; or**
 - b. Introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.**

The project will be integrated into the basement and rear of an existing residential unit. Exterior materials will match or complement the existing residence and its architecture. Its location is not immediately visible from a public right-of-way and is well stepped back from adjacent properties and low in elevation. Based on these design factors, the existing residence along with the proposed addition would continue to match the prevailing character of the neighborhood.

- 3. The proposed project is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.**

The project will be integrated into the basement and rear of an existing residential unit. Exterior materials will match or complement the existing residence and its architecture. The addition would not be immediately visible from a public right-of-way and is well stepped back from adjacent properties on either side, and low in elevation, being dug into the grade at the rear. No visible change to the front elevation or height of the existing residence will occur. Based on this, the existing residence with the addition would remain consistent with the general scale of structures and buildings in the surrounding neighborhood.

- 4. The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.**

The project will match and be integrated into the basement and rear of an existing residential unit. Exterior materials will match or complement the existing residence and its architecture. Its location is not immediately visible from a public right-of-way, is well stepped back from adjacent residences and low in elevation. Existing residences along this block are placed in a side-by-side arrangement with primary views out their front and rear windows and adjacent homes do not maintain any primary views through the project. This lot and the two units (64 and 66 Lincoln Drive) back to a publicly owned open space parcel and the rear lot line of 201 Buchanan Drive with a residence that fronts on Buchannan Drive on the other side of a low ridgeline, and therefore, has no views of the rear of 64 Lincoln Drive. Based on these factors, the addition has been designed to minimize obstruction of public views and primary views from private property.

5. The proposed project will not result in a prominent building profile (silhouette) above a ridgeline.

The existing residence is not located on a ridgeline. Further, there will be no alteration to the height and roofline of the existing residence.

6. The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.

No landscaping is impacted or proposed in this application.

7. The design and location of buildings provide adequate light and air for the project site, adjacent properties, and the general public.

The addition will be integrated into the basement and rear of an existing residential unit and is well stepped back from adjacent properties on either side (17 feet to the east and 28 feet to the west side lot lines). Further, the addition is low in elevation being partially dug into the grade at the rear. The attached residential unit at 66 Lincoln steps forward from the rear of 64 Lincoln Drive and the new addition will be stepped approximately 4 feet to the east from the shared building wall separating the two units to provide additional distance and privacy. Taking into account the location, low height and distance of the addition from the adjacent residential unit and other properties, the addition will not impede existing light and air for the project site, adjacent properties and the general public.

8. Exterior lighting, mechanical equipment, and chimneys are appropriately designed and located to minimize visual, noise, and air quality impacts to adjacent properties and the general public.

Any exterior lighting is limited to porch and stairway lighting for safety. A condition has been included require lighting to be shielded and downlit. No new chimney is proposed. There will be no change to the existing mechanical equipment for heating and cooling the residence.

9. The project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing, and window, deck and patio configurations.

The project will be integrated into the basement and rear of an existing residential unit and is well stepped back from adjacent properties on either side (17 feet to the east and 28 feet to the west side lot lines). Further, the project is low in elevation being partially dug into the grade at the rear. The attached residential unit at 66 Lincoln steps forward from the rear of 64 Lincoln Drive and this addition

will be stepped approximately 4 feet to the east from the shared building wall separating the two units to provide additional distance and privacy. Windows are primarily oriented toward the rear with one minor side window facing east. Due to the low elevation of the project and existing fencing and landscaping, the new side window will not allow views into the adjacent residence at 62 Lincoln Drive. Based on these factors, the project will provide a reasonable level of privacy to the site and adjacent properties.

10. Proposed entrances, exits, internal circulation, and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.

Not applicable. No change to parking or circulation.

11. The proposed design preserves protected trees and significant natural features on the site to a reasonable extent and minimizes site degradation from construction activities and other potential impacts.

Although minor grading is proposed to accommodate the addition, the portion of the project at the rear is minor in size and scale and no significant features, or any trees on the site will be impacted.

12. The project site is consistent with the guidelines for heightened review for projects which exceed 80 percent of the maximum allowed floor area ratio and/or site coverage, as specified in subsection E of this section (Heightened Review Findings).

Not applicable.

13. The project has been designed to ensure on-site structures do not crowd or overwhelm structures on neighboring properties. Design techniques to achieve this may include but are not limited to: stepping upper levels back from the first level, incorporating facade articulations and divisions (such as building wall offsets), and using varying rooflines.

The project will be integrated into the basement and rear of an existing residential unit and is well stepped back from adjacent properties on either side (17 feet to the east and 28 feet to the west side lot lines). Further, the project is low in elevation being partially dug into the grade at the rear. The attached residential unit at 66 Lincoln steps forward from the rear of 64 Lincoln Drive and the new rear portion of the project will be stepped approximately 4 feet to the east from the shared building wall separating the two units to provide additional distance and privacy. Based on these factors, the project will not crowd or overwhelm structures on neighboring properties.

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EXHIBIT 2:
CONDITIONS OF APPROVAL

Planning Permit

General Conditions

1. Pursuant to Sausalito Municipal Code Section 10.50.120 (Implementation of Permits), it shall be the Applicant's responsibility to diligently proceed to carry out the Conditions of Approval and implement any approved permit(s). This shall include establishing the approved use/implementing the permit(s) within the time limits set forth by the applicable code. Extensions to approved permits may be sought pursuant to SMC 10.50.140.
2. As part of the Building Permit application, all final Conditions of Approval shall be restated on the construction drawings and the applicant shall thoroughly and accurately document in writing compliance with each Condition of Approval at the time of Building Permit application and any other subsequent submittals.
3. Project will be built in substantial compliance with the approved plans. Approval of application DR 2024-00179 is limited to a 435.5 square foot basement and rear addition to the existing residence with rooftop deck and exit stairway at 66 Lincoln Drive, as depicted in the plans titled "Basement Remodel / Addition with Full Bath and (N) Rear Deck, 64 Lincoln Drive Sausalito, CA 94965", received March 31, 2025. (Attachment 3).
4. Pursuant to SMC 10.50.180.B, the Community Development Director is authorized to administratively approve minor modifications to the approved plans.
5. The Applicant/Property Owner(s) shall defend, indemnify (including reimbursement of all fees and costs reasonably incurred by separate counsel retained by the City), and hold harmless the City and its elected and appointed officials, officers, agents and employees, from and against any and all liability, loss, damage, or expense, including without limitation reasonable attorney's fees which City may suffer or incur as a result of any claims relating to or arising from the City's approval of the project or any portion of the project, or construction thereof.
6. In the event that any condition imposing a fee, exaction, dedication, or mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be subject to review by the City and substitute conditions may be imposed.
7. Prior to issuance of a building permit, the applicants shall reimburse the City for any known unpaid costs associated with the project, including work done by consultants.

8. As a condition of this approval, no alternative or unrelated construction, site improvements, tree removal and/or alteration, exterior alterations and/or interior alterations and/or renovations not specified in the project plans, or alterations approved by the Community Development Director, shall be performed on the project site.
9. Any mechanical equipment installed in connection with this project shall be subject to Sausalito Municipal Code Section 12.16.130 - Machinery, equipment, fans and air conditioning.
10. The light source for all exterior lighting fixtures shall be shielded from adjacent properties. Lighting shall be designed to focus the light on to only the areas necessary to be illuminated and minimize overflow of lighting off-site.
11. At the time of building permit application, the applicant shall file a reasonable estimate of the value of the project, and based thereon, a construction time limit shall be established for the project in accordance with the criteria set forth in Sausalito Municipal Code Section 10.54.100. The applicant shall submit information reasonably requested by the Community Development Director to support the estimated value of the project. Such documentation may include without limitation an executed construction contract. The time for completion of the construction shall also be indicated on the construction permit.

Department of Public Works

Right of Way Items

12. Applicant shall repair or replace, at no expense to the City, damage to public facilities that results from applicant's construction activities. Applicant is advised that applicant's contractor shall save and protect all existing facilities not designated for removal or modification within the public right of way.

Engineering Items

13. Emergency vehicle access and access to adjacent properties shall be maintained at all times throughout the duration of this project.
14. An encroachment permit shall be obtained from the DPW prior to using the public right of way for non-public purposes (e.g., material storage, construction, staging or demolition) including any and all construction and demolition activities. Encroachment submittal information can be found here: <https://www.sausalito.gov/departments/public-works/engineering-division/encroachment-permits>.
15. Applicant shall ensure that construction materials, equipment, vehicles, and properly-permitted debris boxes (Bay Cities Refuse Service is the sole authorized solid waste hauler permitted to provide debris box service in the City of Sausalito) is not placed in a manner that poses a traffic hazard, and is placed to minimize obstruction of roads and gutters, and is equipped with reflectors or lighting to ensure visibility at night and in inclement weather (if placed in the public right of way), and is maintained in a clean and safe condition, and not maintained in a manner that becomes a nuisance to the neighborhood. Debris boxes shall be emptied on a regular basis, or as directed by the City. Material stockpiles & debris boxes shall be covered when not being accessed or filled to prevent dust or liquid from being released to the environment. Construction materials, equipment, vehicles, and debris boxes shall be placed in the public right of way only after securing an encroachment permit.
16. Applicant shall ensure best management practices (BMPs) are used during construction activity. This includes erosion and sediment controls and pollution prevention practices. Erosion control BMPs may include, but are not limited to, scheduling and timing of grading activities, timely re-vegetation of graded

areas, the use of hydroseed and hydraulic mulches, and installation of erosion control blankets. Sediment control may include properly sized detention basins, dams, or filters to reduce entry of suspended sediment into the storm drain system and watercourses, and installation of construction entrances to prevent tracking of sediment onto adjacent streets. Pollution prevention practices may include: designated washout areas or facilities, control of trash and recycled materials, covering of materials stored on-site, and proper location of and maintenance of temporary sanitary facilities. The combination of BMPs used, and their execution in the field, must be customized to the site using up-to-date standards and practices. You may refer to the Marin County Stormwater Pollution Prevention Program's website, <https://www.marincounty.org/~media/files/departments/pw/mcstoppp/development/erosionsediment-control-measures-for-small-construction-projects-2015.pdf?la=en>

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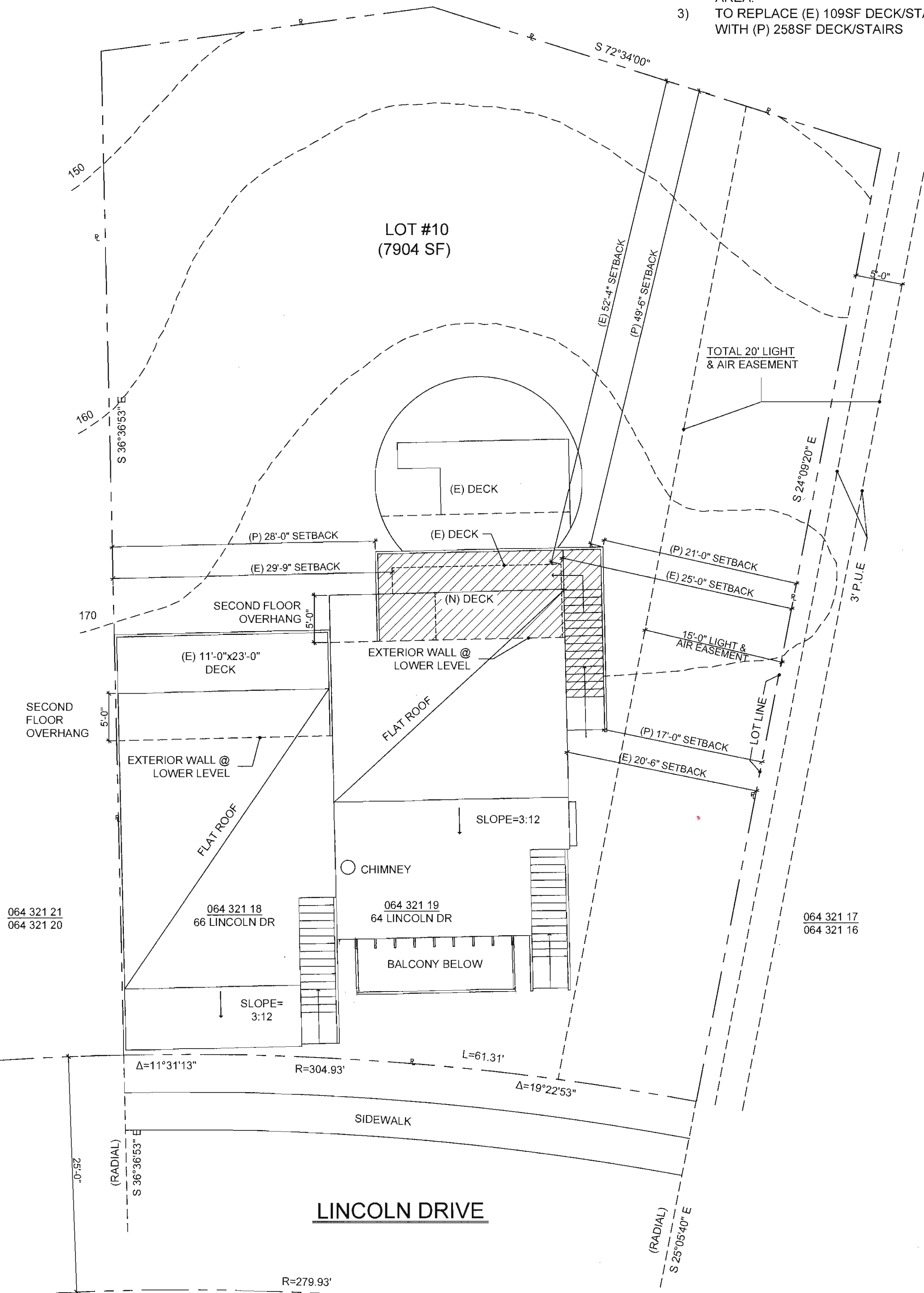
**EXHIBIT C:
PROJECT PLANS**

TO BE INSERTED

BASEMENT REMODEL/ADDITION WITH FULL BATH & NEW REAR DECK

SCOPE OF WORK

- 1) TO CONVERT 252 SF OF BASEMENT STORAGE TO HABITABLE LIVING AREA - TO CREATE A HOME OFFICE/WORKSHOP, INCLUDING A 10' X 6.5' FULL BATH
- 2) TO EXCAVATE AND CONVERT 184.5SF TO HABITABLE LIVING AREA, ADDED TO THE CONVERTED 252 SF OF LIVING AREA.
- 3) TO REPLACE (E) 109SF DECK/STAIRS WITH (P) 258SF DECK/STAIRS



INFORMATION TAKEN FROM
AMENDED MAP OF BUENA
VISTA HEIGHT (10.1972)

SITE PLAN

SCALE: 1/8" = 1'-0"



Residential Site Data Table

The following table must be placed on the cover sheet of the plan set for all residential projects. If something is inapplicable to your project, please indicate "Not Applicable" or "N/A".

	Existing	Added Square Footage	Proposed	Total With Addition	Permitted by Zoning
ZONING	R2-2.5	—	—	—	
PARCEL SIZE (Gross and Net Areas) See 10.88.040 Parcel Size Net	7904	—	—	—	
AVERAGE SLOPE	15.06	—	—	—	
NUMBER OF UNITS	2	—	—	—	
FLOOR AREA					
SMC10.40.040 & 10.44.330					
Primary Residence	2661	436.5	3097.5	3097.5	
Garage	872			872	
Accessory Structures (STORAGE)	504	-252	252	252	
ADU	N/A			—	
Sub-Total	4037	184.5	4221.5	4221.5	
Exemptions	1376	-252	1124	1124	
Adjusted Floor Area (Less Exemptions)	2661	436.5	3097.5	3097.5	
FAR (Floor Area Ratio)	33.7%	5.5%	31.2%	39.2%	
LOT COVERAGE					
SMC 10.40.050					
Square Feet	2125	149	2274	2274	
Percentage of Lot Coverage	26.31%	1.88%	28.77%	28.77%	
IMPERVIOUS SURFACES					
SMC 10.40.050 C.					
Square Feet	2407	149	2556	2556	
Percent of Impervious Surfaces	30.45%	1.88%	32.33%	32.33%	
SETBACKS - Primary Structure SMC 10.40.070 - 090					
Front Yard Setback	0	0	0	0	
Side Yard Setback	N/EAST 29'-9"	-1'-9"	28'-0"	28'-0"	
Side Yard Setback	EAST 20'-6"	-3'-6"	17'-0"	17'-0"	
Rear Yard Setback	NORTH 50'-4"	-2'-10"	49'-6"	49'-6"	
HEIGHT					
SMC 10.40.060 and 10.44.020					
Primary Building Height	27'-2"	0	27'-2"	27'-2"	
Accessory/Secondary Building Height	N/A	—	—	—	
SETBACKS – Accessory Structure SMC 10.44.020					
Side Yard Setback	N/A	—	—	—	
Side Yard Setback	N/A	—	—	—	
Rear Yard Setback	N/A	—	—	—	
PARKING					
SMC 10.40.110 – 120					
On-Site Spaces	4	—	—	—	
GRADING QUANTITIES					
Cut	0		56 cu.yd.	56 cu.yd.	
Fill	N/A	—	—	—	

CONSTRUCTION TYPE = V-B
SEISMIC CATEGORY = D
OCCUPANCY GROUP = R2
AVERAGE SLOPE = 15.06
FLOOD ZONE = X

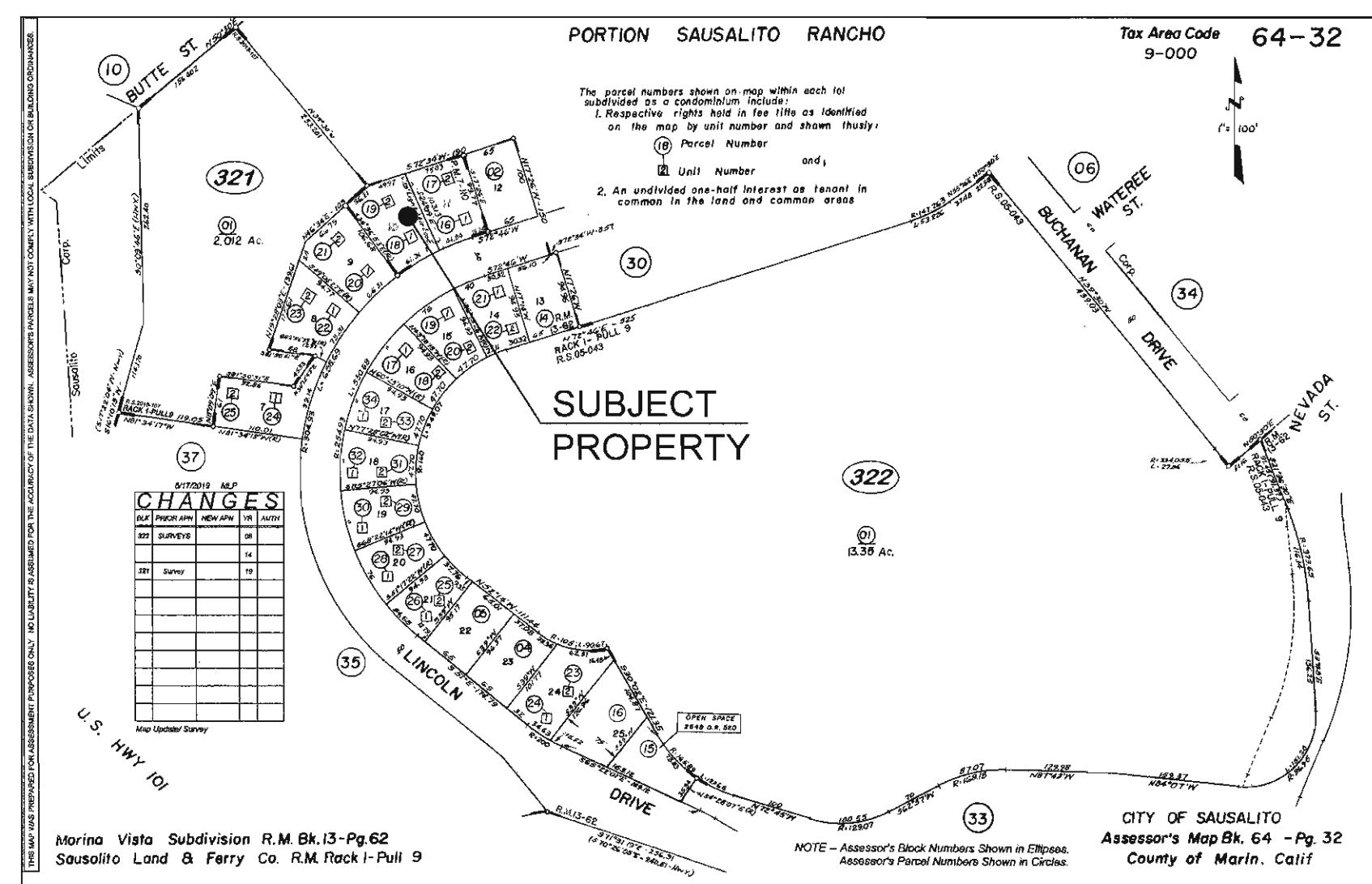
LATITUDE: 37.864560
LONGITUDE: -122.504960
PROPERTY WITHIN WUI. ALL NEW MATERIALS
AND LABOR TO BE COMPLIANT WITH ALL
CURRENT FIRE CODES.

*#64 LINCOLN DRIVE AND #66 LINCOLN DRIVE = THE CONDOMINIUM UNITS ON LOT #10.

DRAWING INDEX

GENERAL NOTES, VICINITY MAP, SITE PLAN, DRAWING INDEX	A1.0
(E) & (P) FLOOR PLANS & ELEVATIONS FOR 64 & 66 LINCOLN DRIVE	A1.1
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(P) ELECTRIC PLANS & RESIDENTIAL MANDATORY MEASURES	A5.0
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STRUCTURAL DRAWINGS S1.0 - S3.1



VICINITY MAP (NTS)

GENERAL NOTES:

1. ALL WORK IN THESE DOCUMENTS SHALL BE CONSTRUCTED IN COMPLIANCE WITH ALL GOVERNING CODES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO:
2022 CALIFORNIA RESIDENTIAL CODE EXCEPT AS LIMITED BY SECTION R301.1.3,
THE 2022 INTERNATIONAL BUILDING CODE AS AMENDED BY THE 2016 CALIFORNIA BUILDING CODE,
THE 2022 UNIFORM MECHANICAL CODE AS AMENDED BY THE 2016 CALIFORNIA MECHANICAL CODE,
THE 2022 UNIFORM PLUMBING CODE AS AMENDED BY THE 2016 CALIFORNIA PLUMBING CODE,
THE 2022 NATIONAL ELECTRICAL CODE AS AMENDED BY THE 2016 CALIFORNIA ELECTRICAL CODE,
THE 2022 INTERNATIONAL FIRE CODE AS ADOPTED BY THE 2016 CALIFORNIA FIRE CODE,
THE 2022 CALIFORNIA GREEN BUILDING STANDARDS,
AND RULES AND REGULATIONS OF THE STATE FIRE MARSHALL. IN ADDITION TO COMPLIANCE WITH ALL CODES AND LAWS SPECIFIED, CONTRACTOR TO COMPLY WITH ALL STATE AND LOCAL LAWS, CODES AND REGULATIONS FOR ACTUAL CONSTRUCTION OPERATIONS.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF SAUSALITO PLANNING, ZONING CODES, AND REGULATIONS, AND CONDITIONS OF APPROVAL.
3. ALL AREAS OF NON-CONFORMANCE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER
4. CONTRACTOR SHALL PROTECT ALL NEW AND EXISTING STREETS, SIDE WALKS, SITEWALLS, SURFACES, FINISHES, PLANTS, SHRUBS, TREES, FENCES IN CONSTRUCTION AREAS AND IN AREAS WHERE CONSTRUCTION IS NOT INDICATED, AS WELL AS RESTORE ALL FINISH SURFACES TO THE ORIGINAL CONDITION WHERE DAMAGED OR CHANGED AT NO ADDITIONAL COST TO THE OWNER.
5. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY BUILDING PAPER, FLASHING, CAULKING, TRIM, WATERPROOFING, ETC. TO ENSURE A WATERTIGHT BUILDING CONSTRUCTED IN ACCORDANCE WITH ACCEPTED STANDARDS.
6. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
7. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
8. CONTRACTOR TO VERIFY LOCATION OF UTILITIES, EXISTING GRADES, PROPERTY LINES, SET BACKS, AND TO CONFIRM EXISTING SURFACE AND SUBSURFACE DRAINAGE SYSTEMS. COORDINATE ALL WORK WITH THE REQUIREMENTS OF STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING TRADES.
9. CONTRACTOR TO SCHEDULE AREAS OF WORK FOR APPROVAL BY OWNER PRIOR TO PROCEEDING.
10. ELECTRICAL: ELECTRICAL SUBCONTRACTOR TO PROVIDE DESIGN/BUILD SERVICE FOR ANY ELECTRICAL REQUIRED TO COMPLETE THIS PROJECT. PROVIDE ALL NECESSARY COMPONENTS FOR A COMPLETE SYSTEM. SUBCONTRACTOR TO PAY FOR ALL FEES. PERMITS, LICENSES, ETC. AS REQUIRED.
11. WHERE NEW GYPSUM BOARD WALLS MEET EXISTING AND WHERE PATCHING IS REQUIRED, PROVIDE THICKER MATERIAL, EXTRA LAYERS, OR EXTRA TAPING COMPOUND AS REQUIRED TO BRING NEW AND EXISTING WORK TO TRUE FLUSH PLANES. TEXTURE ON NEW AND PATCHED GYPSUM BOARD WALL TO MATCH EXISTING.
12. CONTRACTOR TO MAKE SUBMITTALS OF WARRANTIES, MANUALS AND INSTRUCTIONS TO OWNER.
13. ALL WORKMANSHIP AND CRAFTSMANSHIP TO BE ACCEPTABLE BY WARRANTY ONLY, OR IN THE ABSENCE OF SUCH, BY LOCAL STANDARDS. THE OWNER SHALL BE THE FINAL JUDGE OF ACCEPTABILITY.
- a. FOR ACTUAL CUTTING AND FITTING OF TRIM AND FINISH MATERIAL, USE JOURNEYMAN FINISH CARPENTERS WHO ARE TRAINED AND EXPERIENCED IN THE SKILLS REQUIRED, WHO ARE FAMILIAR WITH THE MATERIALS INVOLVED AND THE MANUFACTURER'S RECOMMENDED METHODS OF INSTALLATION, AND ARE FAMILIAR WITH THE REQUIREMENTS OF THIS WORK IN THE ACCEPTANCE OR REJECTION OF FINISH CARPENTRY. NO ALLOWANCE WILL BE MADE FOR LACK OF SKILL ON THE PART OF THE WORKMEN.
- b. FOR PAINTING, ALL SURFACES MUST BE PREPARED FOR PAINTING PRIOR TO COMMENCEMENT AND BETWEEN APPLICATION OF EACH COAT AS RECOMMENDED BY THE MANUFACTURER AND AS DIRECTED IN FIELD. NO IMPERFECTIONS WILL BE ALLOWED. THIS INCLUDES CRACKS, HOLES AND IMPERFECTIONS IN UNDERLYING SURFACE OF MATERIAL. IN THE ACCEPTANCE OR REJECTION OF FINISH PAINTING, NO ALLOWANCE WILL BE MADE FOR LACK OF SKILL ON THE PART OF THE WORKMEN.
14. THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES AND PROVIDE A "BROOM CLEAN" JOB SITE ON A DAILY BASIS AND AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING.
15. DO NOT NOTCH, BORE OR CUT MEMBERS FOR PIPES, DUCTS OR OTHER REASONS EXCEPT AS PER CODE OR AS SHOWN ON DRAWINGS OR WITH SPECIFIC APPROVAL IN ADVANCE BY THE STRUCTURAL ENGINEER
16. CONTRACTOR SHALL CARRY LIABILITY, PROPERTY DAMAGE, AND WORK'S COMPENSATION INSURANCE AND SHALL PROVIDE THE OWNER WITH CERTIFICATES OF INSURANCE.
17. ALL LIGHTING SHALL BE HIGH EFFICACY (FLUORESCENT OR QUALIFYING LED PER TABLE 150.0-A). ALL "JAB-2016 OR JAB 2016-E" LAMPS SHALL BE CONTROLLED BY A DIMMER OR VACANCY SENSOR. INTERIOR RECESSED LIGHT FIXTURES SHALL BE IC LISTED AND AIRTIGHT. SEE MF-1R FOR DETAILS AT [HTTP://WWW.ENERGY.CA.GOV/TITLE24/2016STANDARDS/](http://www.energy.ca.gov/title24/2016standards/)
18. IN KITCHENS (NOT AT COUNTERTOPS), FAMILY, LIVING, DINING ROOMS, BEDROOMS, HALLWAYS AND SIMILAR ROOMS PROVIDE RECEPTACLE OUTLETS AT EACH WALL SPACE 2 FEET OR WIDER, MAXIMUM 12 FEET APART. NO POINT ALONG WALL LINE WILL BE MORE THAN 6' MEASURED HORIZONTALLY, FROM A RECEPTACLE OUTLET IN THAT SPACE.
19. ALL NEW RESIDENTIAL 125 VOLT, 15 AND 20 AMP CIRCUITS NOT REQUIRED TO BE GFCI/AFCI PROTECTED MUST BE A F.C.I. PROTECTED. ALL NEW 125 VOLT, 15 AND 20 AMP RATED RECEPTACLES MUST BE TAMPER-RESISTANT TYPE.
20. ELECTRICAL PANELS SHALL NOT BE INSTALLED IN BATHROOMS, CLOTHES CLOSETS, LINEN CLOSETS OR STORAGE ROOMS WITH EASILY IGNITABLE COMBUSTIBLES, OR IN LOCATIONS NOT READILY ACCESSIBLE.
21. A SEISMIC GAS SHUT-OFF VALVE, CALIFORNIA LISTED, SHALL BE INSTALLED IN NEW BUILDINGS AND STRUCTURAL REMODELS OF EXISTING BUILDINGS SERVED BY NATURAL OR PROPANE GAS. PLUMBING OR MECHANICAL PERMITS FOR INSTALLATION OR ALTERATION OF A GAS LINE OR INSTALLATION OR RELOCATION OF A GAS APPLIANCE OR ANY NEW GAS PIPING
22. CA CIVIL CODE 1101-1.8: EXISTING PLUMBING FIXTURES NOT INCLUDED IN THE SCOPE OF NEW WORK SHALL BE REPLACED IF THEY DO NOT MEET THE FOLLOWING STANDARD: WATER CLOSETS MAXIMUM 1.6 GALLONS FLUSH, SHOWERHEADS MAXIMUM 2.5 GALLONS PER MINUTE, LAVATORY AND KITCHEN FAUCETS AT 2.2 GALLONS PER MINUTE MAXIMUM.
23. SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH SLEEPING ROOM AT THE HIGHEST POINT OF THE CEILING, CENTRALLY LOCATED IN THE HALLWAY OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA, AND ON EACH FLOOR LEVEL, INCLUDING BASEMENTS. SEE THE INSTALLATION INSTRUCTIONS FOR OTHER LOCATIONS. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN BUILDINGS EQUIPPED WITH GAS APPLIANCES AND SHALL BE INSTALLED OUTSIDE SLEEPING AREAS AND ON EACH FLOOR LEVEL, INCLUDING BASEMENTS. SMOKE AND CO DETECTORS ARE REQUIRED TO BE SUPPLIED BY 110V POWER IF THE BUILDING HAS ACCESSIBLE UNDERFLOOR AND/OR ATTIC SPACES. IF POSSIBLE, MULTIPLE 110V ALARMS SHALL BE INTERCONNECTED SUCH THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE DWELLING UNIT. BATTERY-POWERED UNITS ARE ALLOWED IN SOME CIRCUMSTANCES.
24. IN ALL FIRE HAZARD SEVERITY ZONES, INCLUDING THE WILD/LAND URBAN INTERFACE (WUI) ALL NEW/REPLACEMENT WINDOWS SHALL BE DUAL PANE/TEMPERED GLASS. ALL NEW/REPLACEMENT EXTERIOR DOORS SHALL BE FIRE RESISTIVE (1 3/8" THICK OR 20 MINUTE FIRE RATED).
25. DWELLINGS SHALL BE POSTED WITH VISIBLE ADDRESS NUMERALS WITH A MINIMUM OF 4 INCHES IN HEIGHT AND A 1/2 INCH WIDE STROKE. CHECK WITH THE LOCAL FIRE AUTHORITY FOR FURTHER REQUIREMENTS.
26. EXTERIOR DOORS: NEW OR REPLACEMENT EGRESS DOORS REQUIRE LEVEL LANDINGS ON BOTH SIDES WITH THRESHOLDS A MAXIMUM 1 1/2" IN HEIGHT FOR OUT-SWINGING DOORS, 7 3/4" FOR IN-SWINGING DOORS. OTHER DOORS MAY HAVE A MAXIMUM OF TWO STEPS UP TO AN IN-SWINGING DOOR WITH A MAXIMUM OF 7 3/4" HEIGHT IN VERTICAL RISE FOR EACH STEP. OTHER OUT-SWINGING DOORS MAY SWING OVER A LANDING WITH A MAXIMUM 7 3/4" INCHES FROM THE TOP OF THE THRESHOLD TO THE TOP OF A LANDING. RESIDENTIAL LANDINGS MUST BE AT LEAST AS WIDE AS THE DOOR THEY SERVE AND A MINIMUM OF 36 INCHES IN THE DIRECTION OF TRAVEL.
27. EXTERIOR DOORS & LANDINGS REQUIRE AN EXTERIOR LIGHT SWITCHED FROM THE INSIDE. LIGHTS SHALL EITHER BE LED OR FLUORESCENT, OR CONTROLLED BY A MOTION SENSITIVE, DAYLIGHT SENSING DEVICE. (DOWNWARD SHINING MAY BE REQUIRED.)

MILLWORKS
DESIGN/CONSTRUCTION

904 SIR FRANCIS DRAKE #1
KENTFIELD, CA 94904
Telephone: (415) 246-4484

PROJECT:
BASEMENT REMODEL/
ADDITION WITH FULL
BATH & (N) REAR DECK

64 LINCOLN DRIVE
SAUSALITO, CA 94965
APN: 064 321 19

OWNER:
TAYLOR KIRCHNER
& NICK MILANI
64 LINCOLN DRIVE
SAUSALITO, CA 94965
APN: 064 321 19
kirchner.t@gmail.com
nicholasrossmilani@gmail.com
TEL (510) 938-7132
TEL (415) 342-0066

DESIGNER:
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meredithmill@gmail.com

ENGINEER:
REECE RELATORES
RELATORES STRUCTURAL
TEL. (510) 788-1825
reece@relatoresstructural.com

CONTRACTOR:

TBD
Richard Lee
3.26.2025

REVISIONS		
NO.	DATE	COMMENT

ISSUE HISTORY

ISSUED FOR:	DATE

SITE & ROOF
PLAN, VICINITY
MAP, INDEX AND
GENERAL NOTES

ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH 2019 CALIFORNIA BUILDING CODE, 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA ELECTRICAL CODE AND 2022 CALIFORNIA ENERGY STANDARDS.

Date: MAR. 12, 2025

Scale

Discussion

Job:

Sheet

01000

A1.0

1 of 10 Sheets

REVISIONS		
NO.	DATE	COMMENT

ISSUE HISTORY	
ISSUED FOR:	DATE

SITE & ROOF
PLAN, VICINITY
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AND 2022 CALIFORNIA ELECTRICAL CODE
AND 2022 CALIFORNIA ENERGY STANDARDS.

Date: MAR. 12, 2025

Scale:

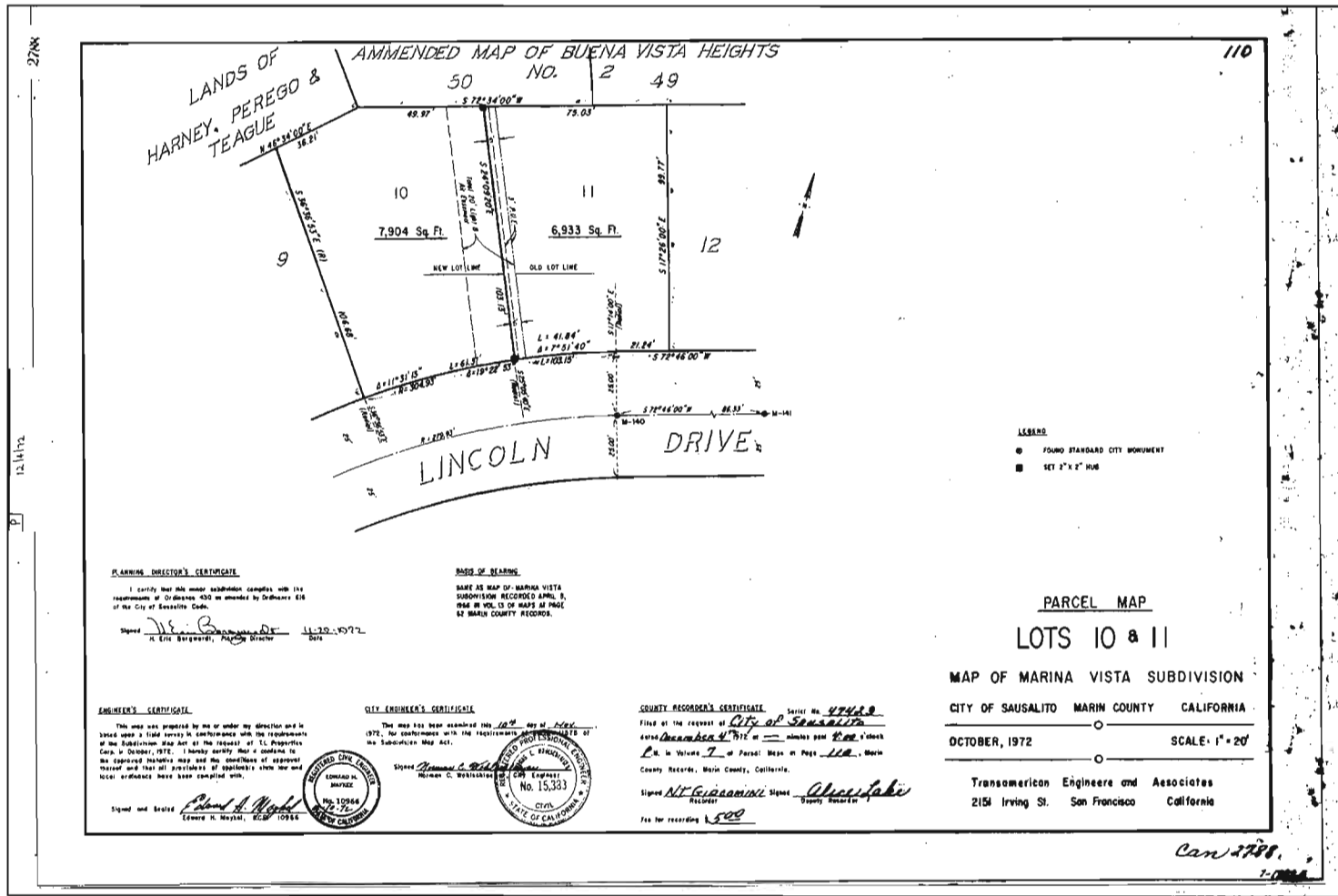
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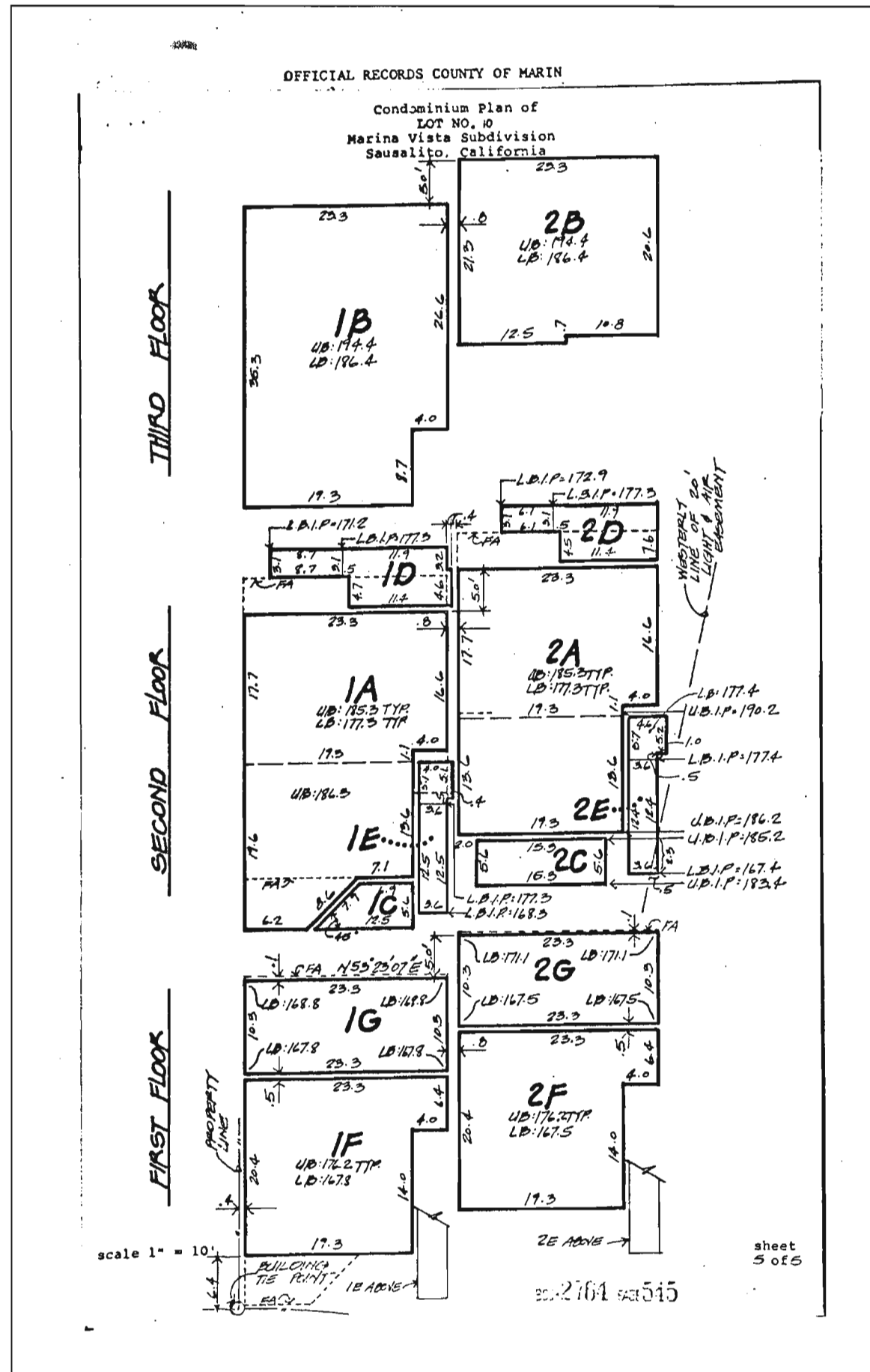
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A1.1

2 of 10 Sheets



AMENDED MAP-LOT #10



CONDOMINIUM PLAN OF LOT #10 MARIN VISTA SUBDIVISION
SAUSALITO, CA

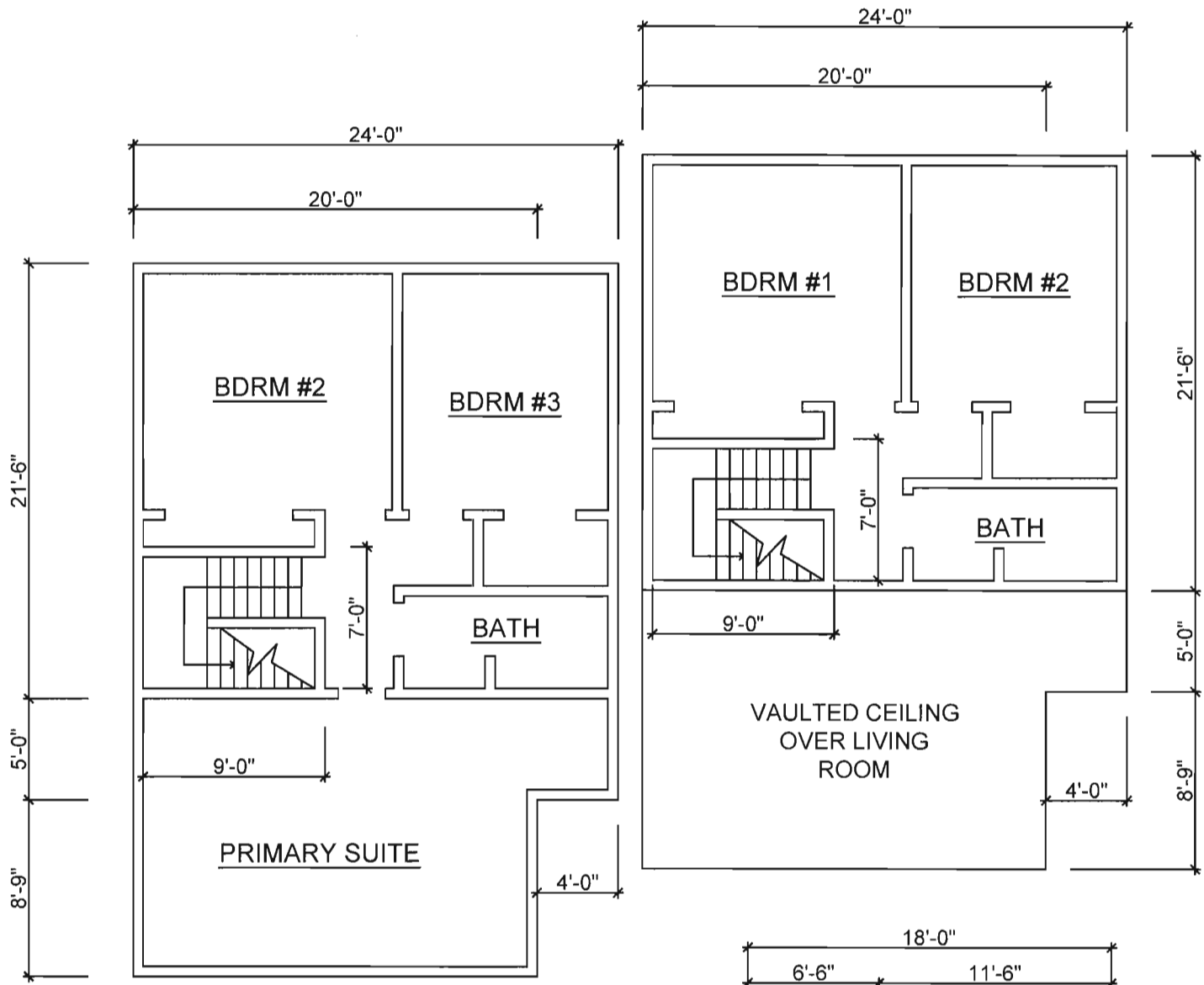
FROM "OFFICIAL RECORD" 2.1974, COUNTY OF MARIN

(E) 66 LINCOLN DRIVE

SCALE: 1/8" = 1'-0"

(E) 64 LINCOLN DRIVE

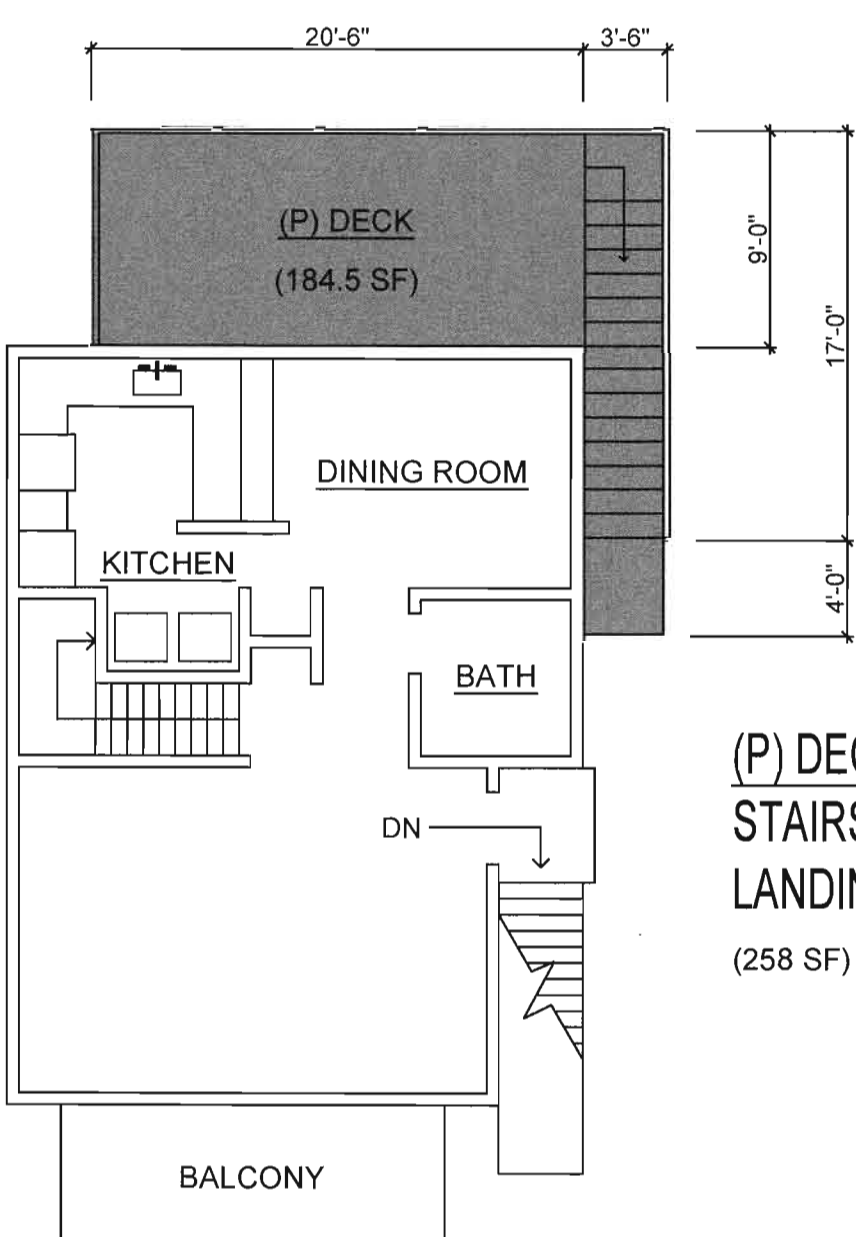
SCALE: 1/8" = 1'-0"



(E) SECOND FLOOR
(453 SF)

(P) 64 LINCOLN DRIVE

SCALE: 1/8" = 1'-0"



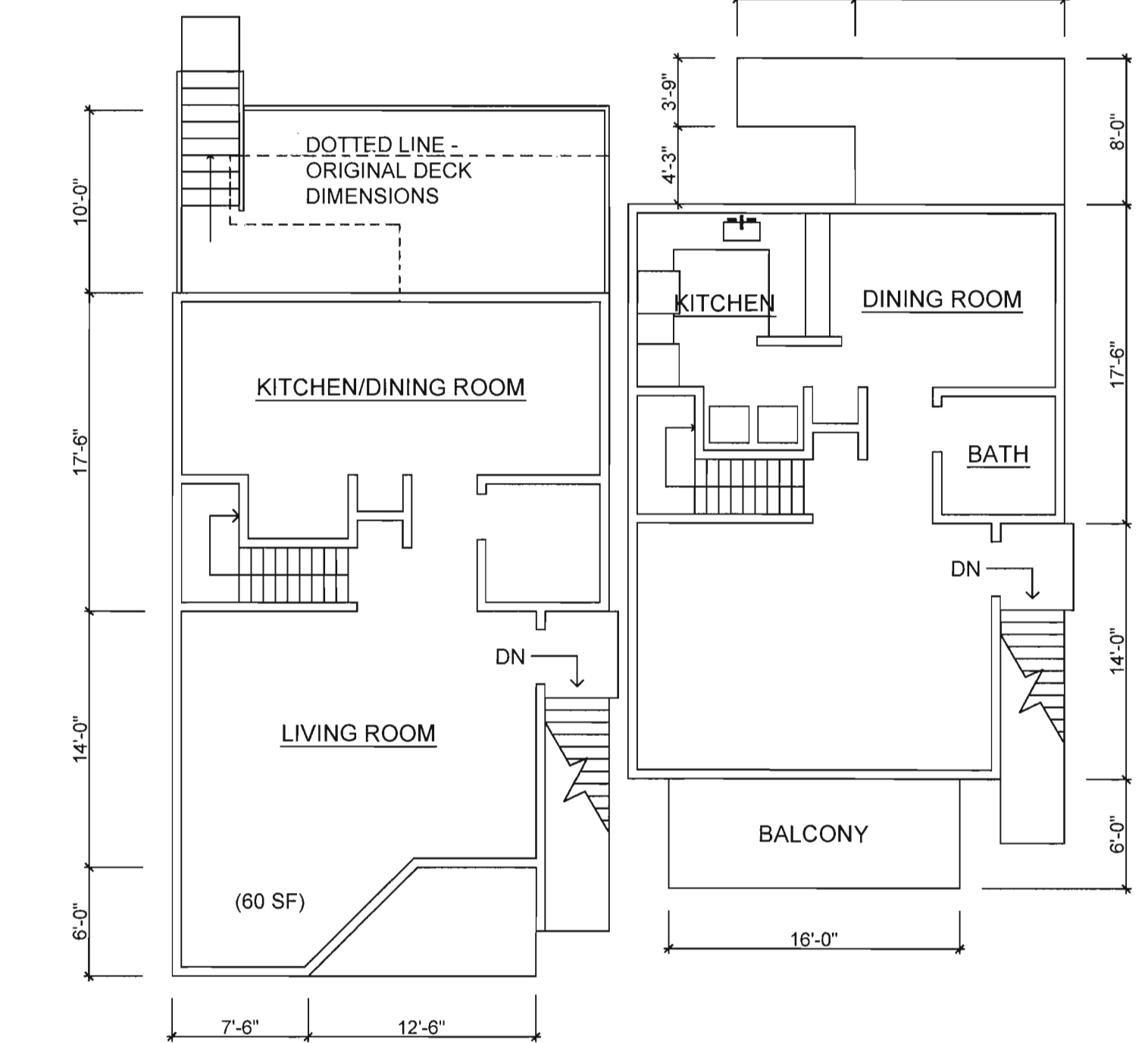
(E) DECK
(109 SF)

(E) MAIN FLOOR
(700 SF)

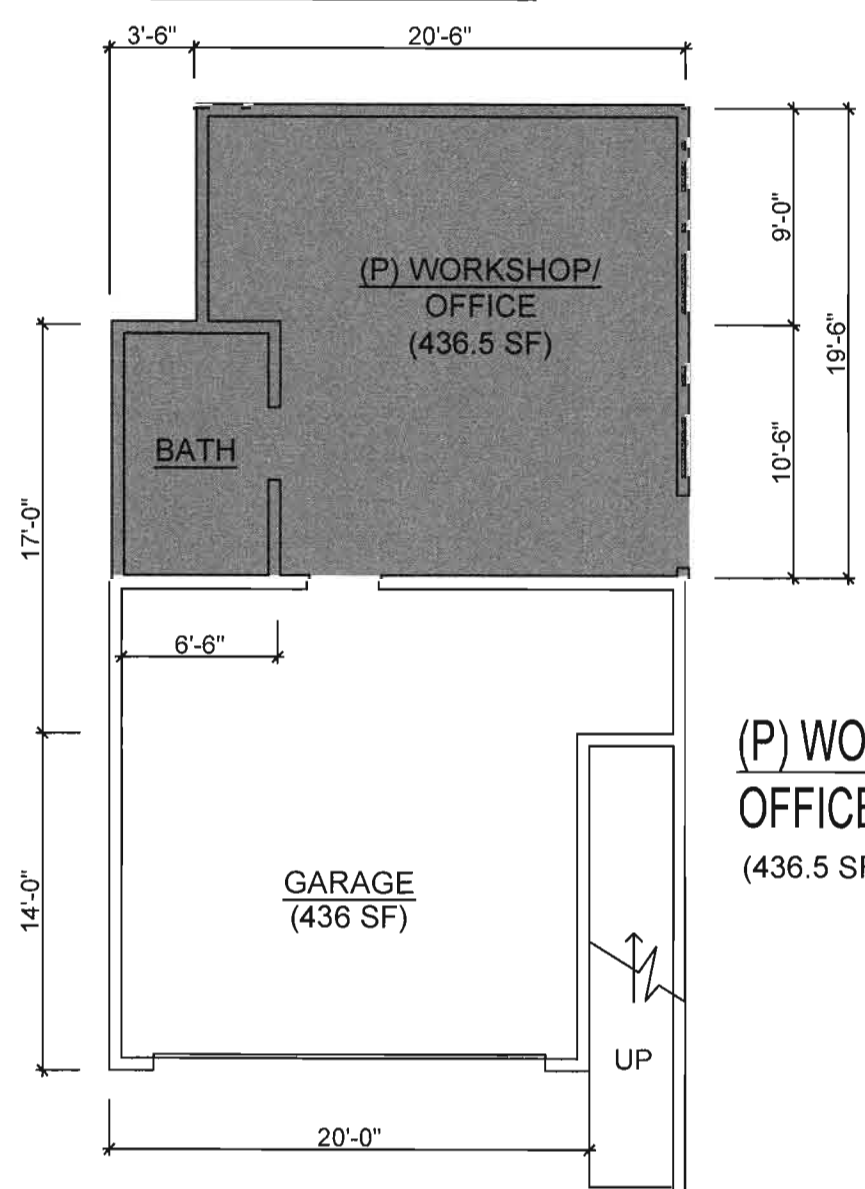
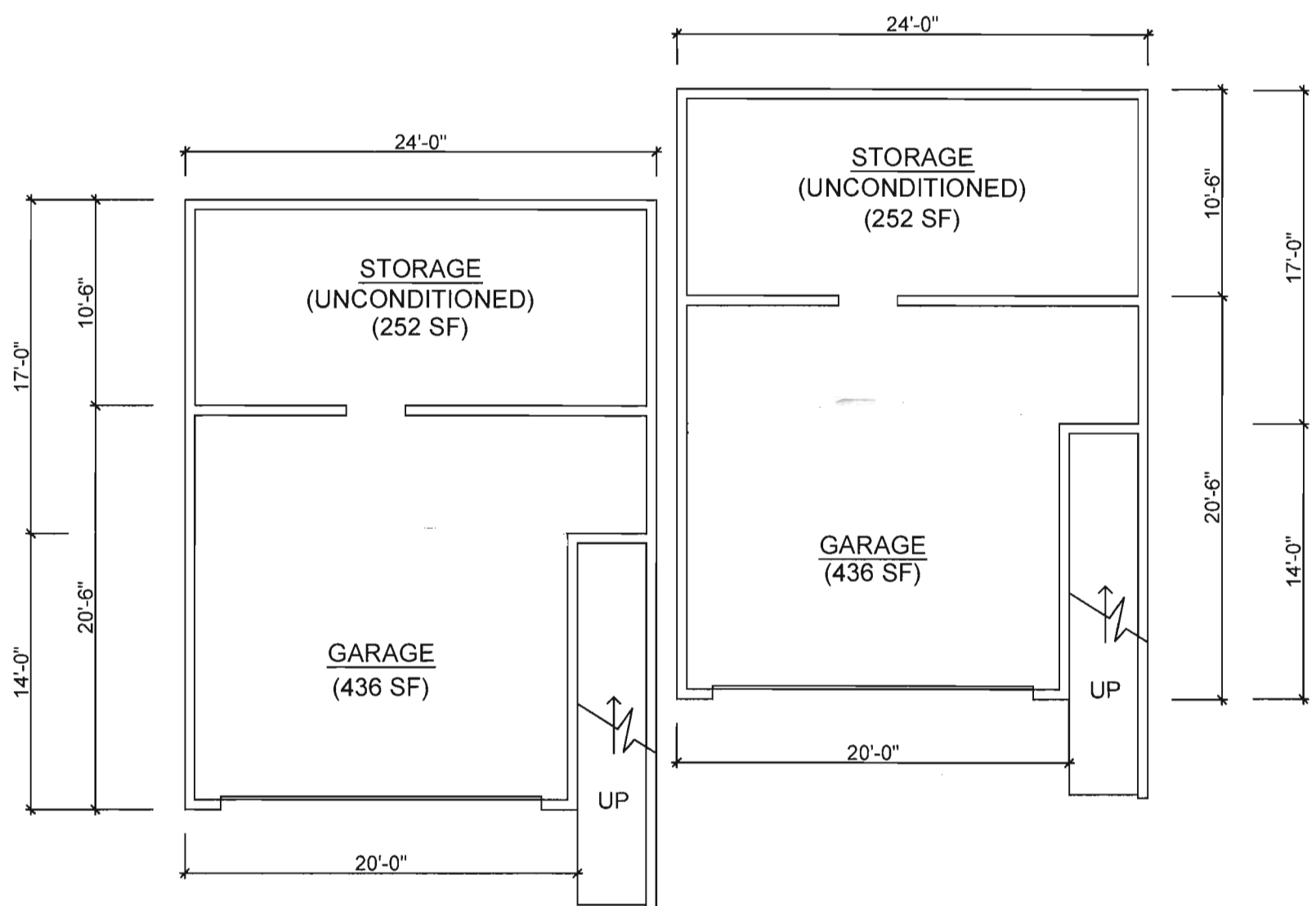
(P) DECK,
STAIRS &
LANDING
(258 SF)

(E) DECK
(AS PER 2018 PLANS)
(256 SF)

(E) MAIN FLOOR
(760 SF)



(E) GARAGE
& STORAGE



(P) WORKSHOP/
OFFICE/BATH
(436.5 SF)



64 LINCOLN DRIVE
(E) REAR ELEVATION

SCALE: 1/8" = 1'-0"

66 LINCOLN DRIVE
(E) REAR ELEVATION

SCALE: 1/8" = 1'-0"



64 LINCOLN DRIVE
(P) REAR ELEVATION

SCALE: 1/8" = 1'-0"

66 LINCOLN DRIVE
(P) REAR ELEVATION

SCALE: 1/8" = 1'-0"



66 LINCOLN DRIVE
(E) FRONT ELEVATION

SCALE: 1/8" = 1'-0"

64 LINCOLN DRIVE
(E) FRONT ELEVATION

SCALE: 1/8" = 1'-0"

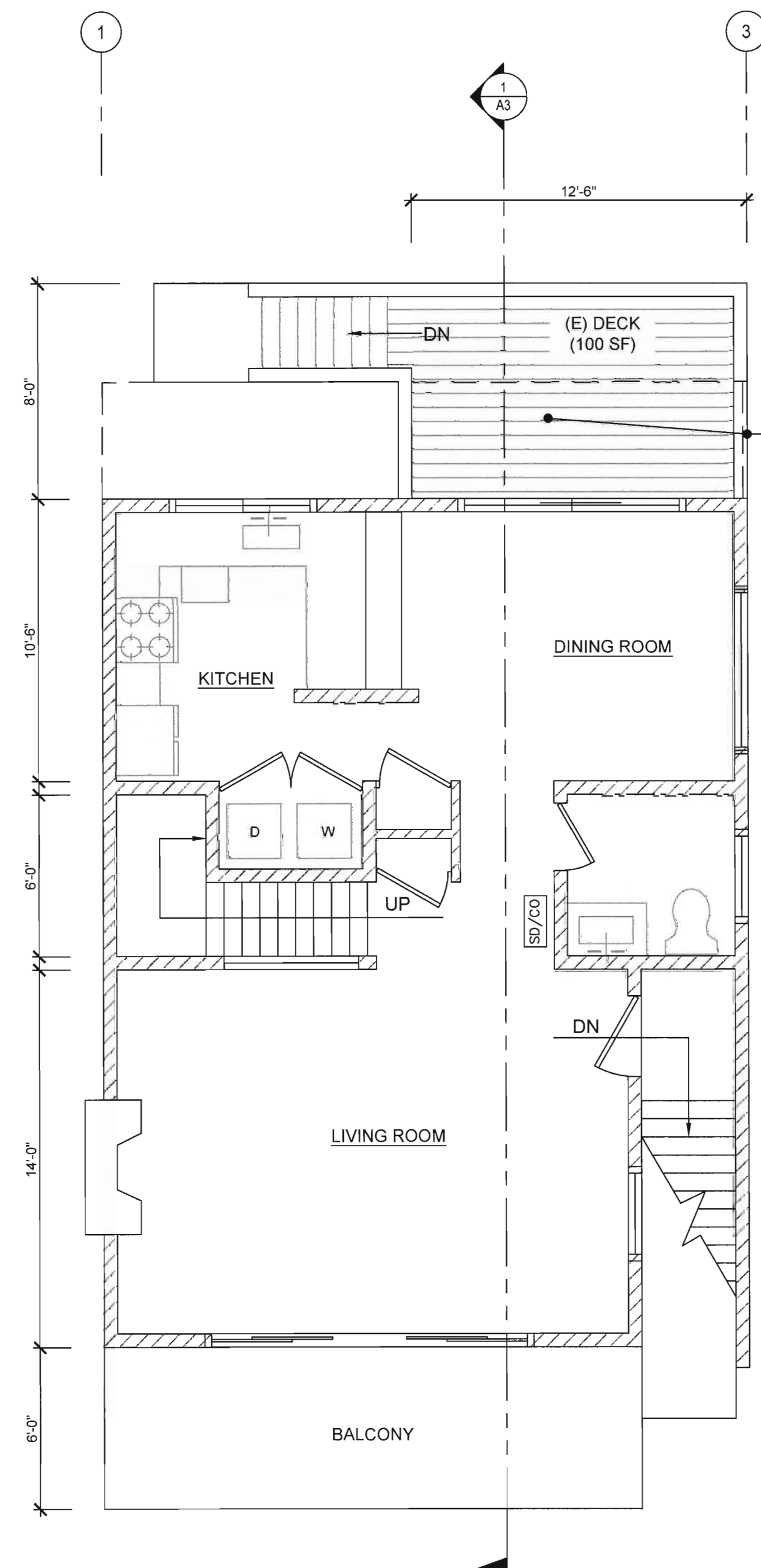


66 LINCOLN DRIVE
(P) FRONT ELEVATION

SCALE: 1/8" = 1'-0"

64 LINCOLN DRIVE
(P) FRONT ELEVATION

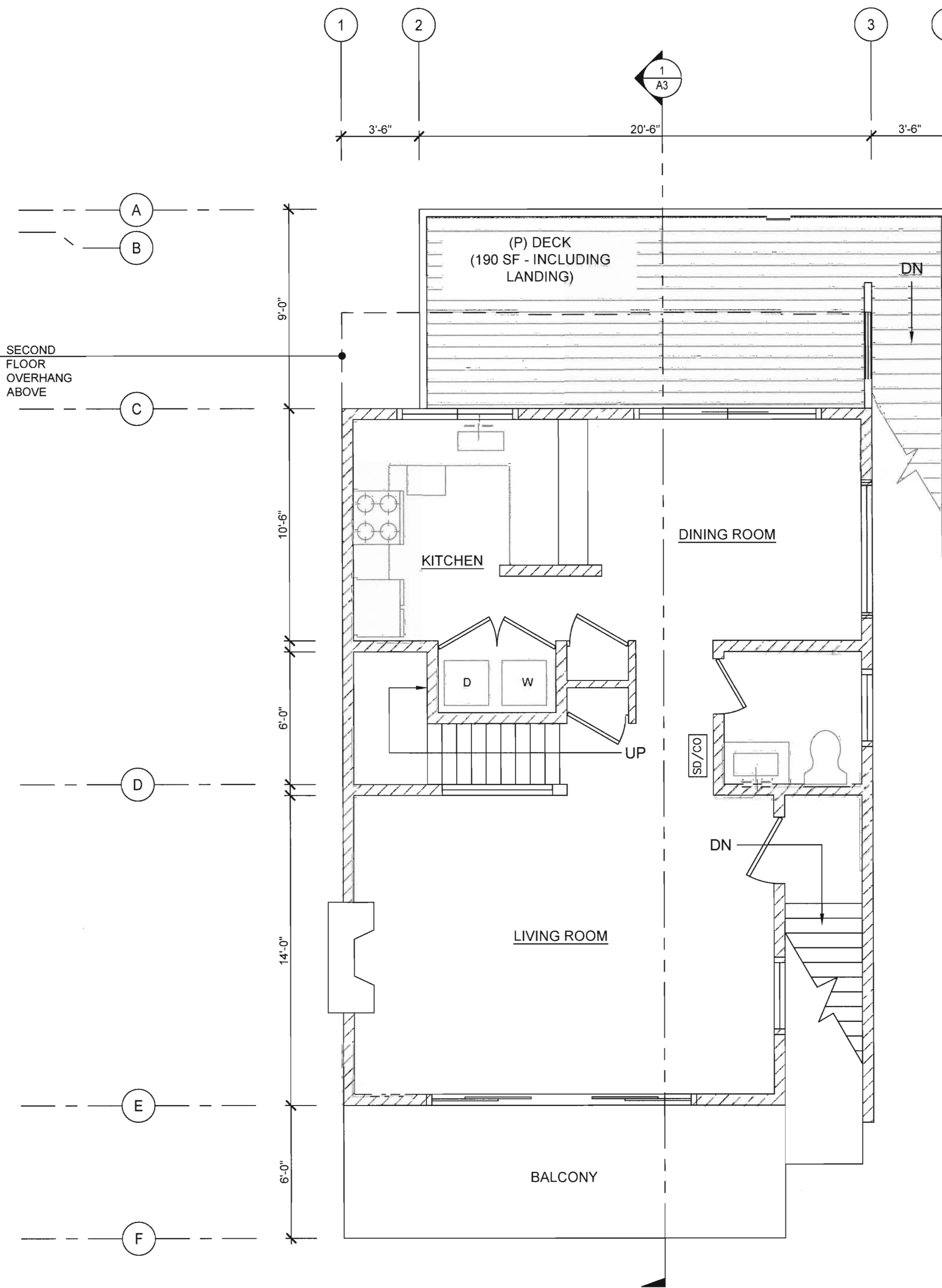
SCALE: 1/8" = 1'-0"



(E) FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

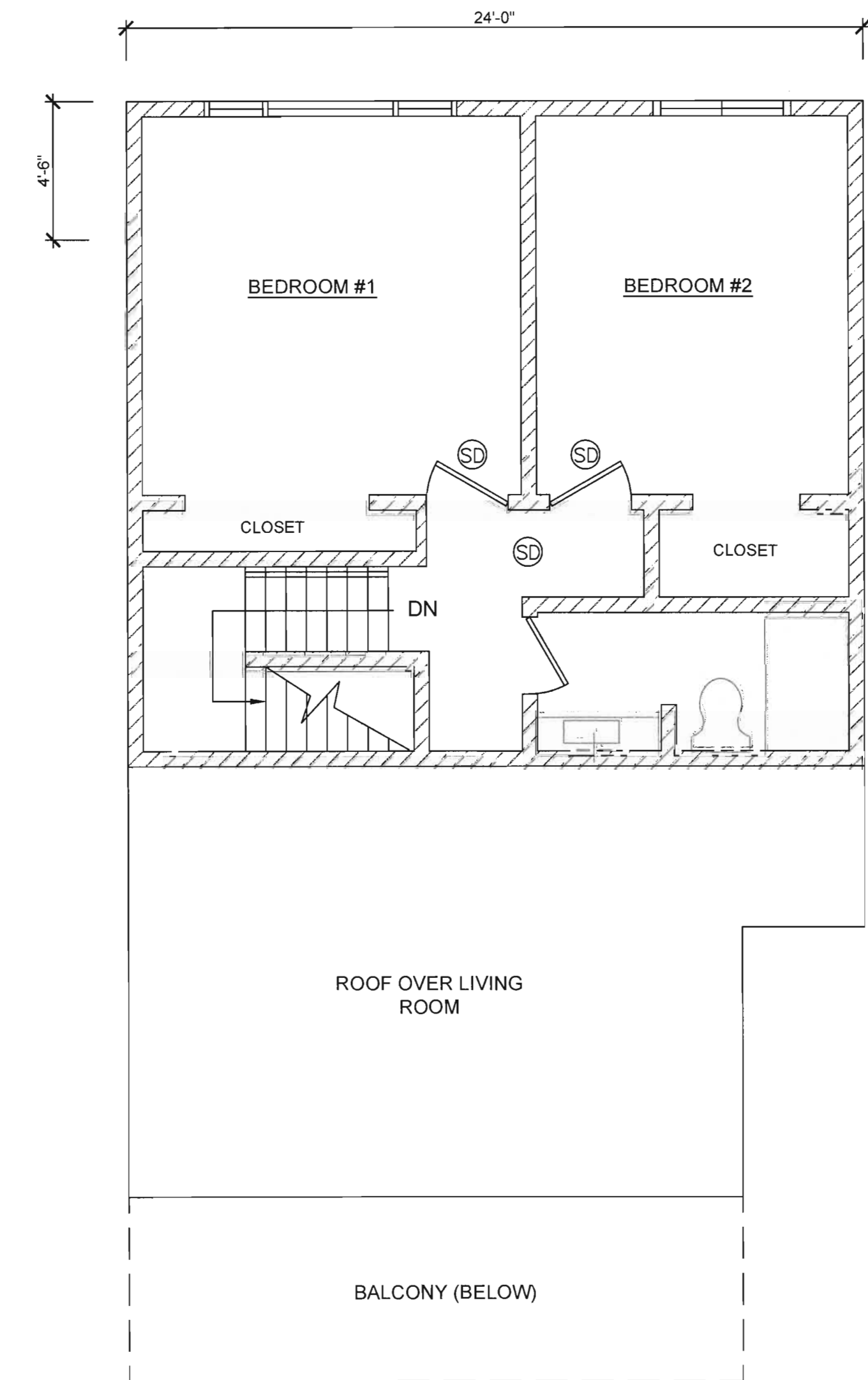
712 SF
(E) DECK = 100 SF



(P) FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

712 SF
(P) DECK = 190 SF



(E) SECOND FLOOR PLAN (NO CHANGE)

SCALE: 1/4" = 1'-0"

516 SF

REVISIONS		
NO.	DATE	COMMENT

ISSUE HISTORY	
ISSUED FOR:	DATE

**(E) & (P)
FIRST FLOOR
& SECOND
FLOOR PLANS**

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2022 CALIFORNIA ELECTRICAL CODE AND
2022 CALIFORNIA ENERGY STANDARDS.

Date: **MAR. 12, 2025**

Scale: **1/4" = 1'-0"**

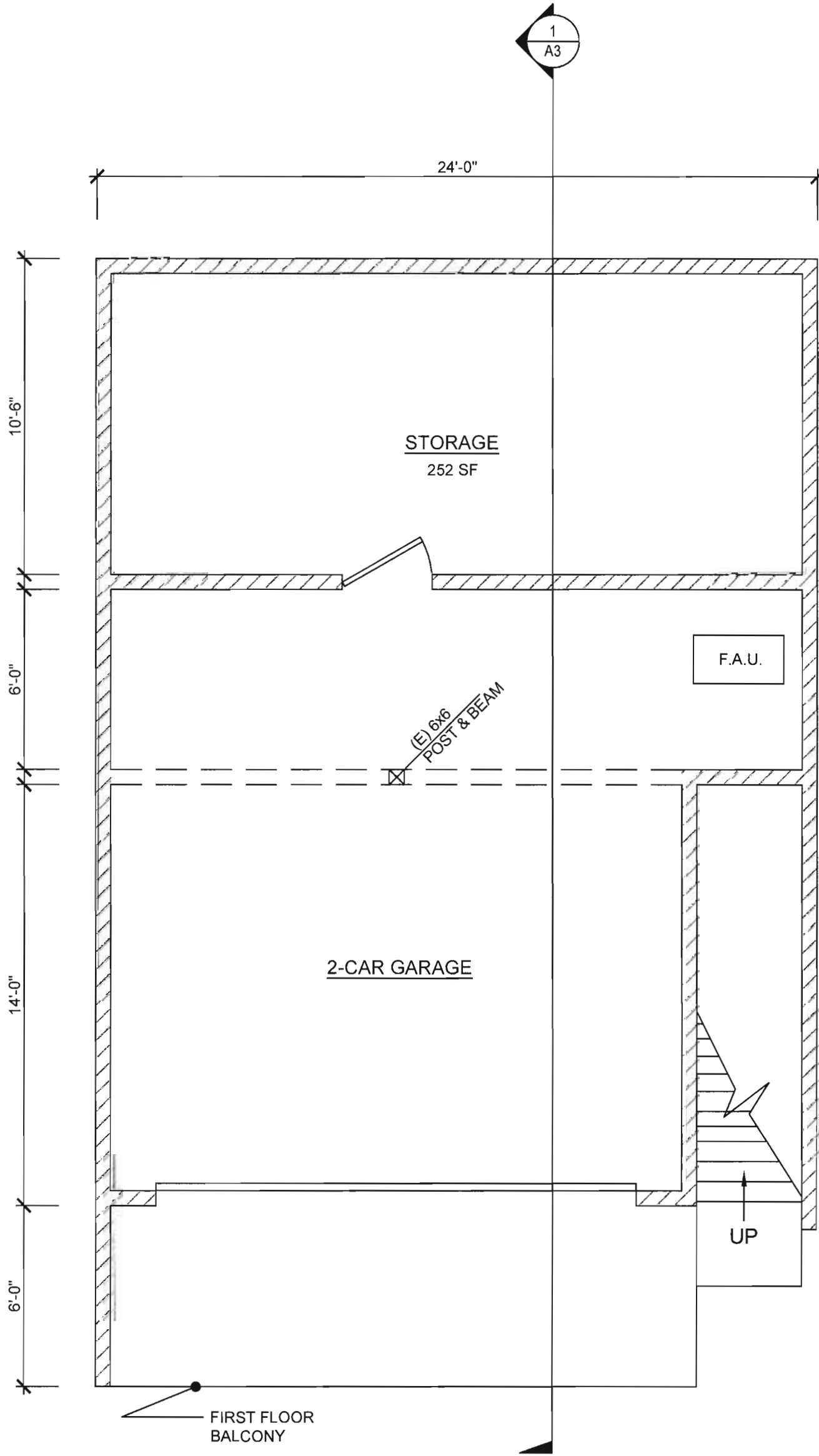
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Job: **3 of 10 Sheets**

Sheet: **A2.0**

BATHROOM NOTES:

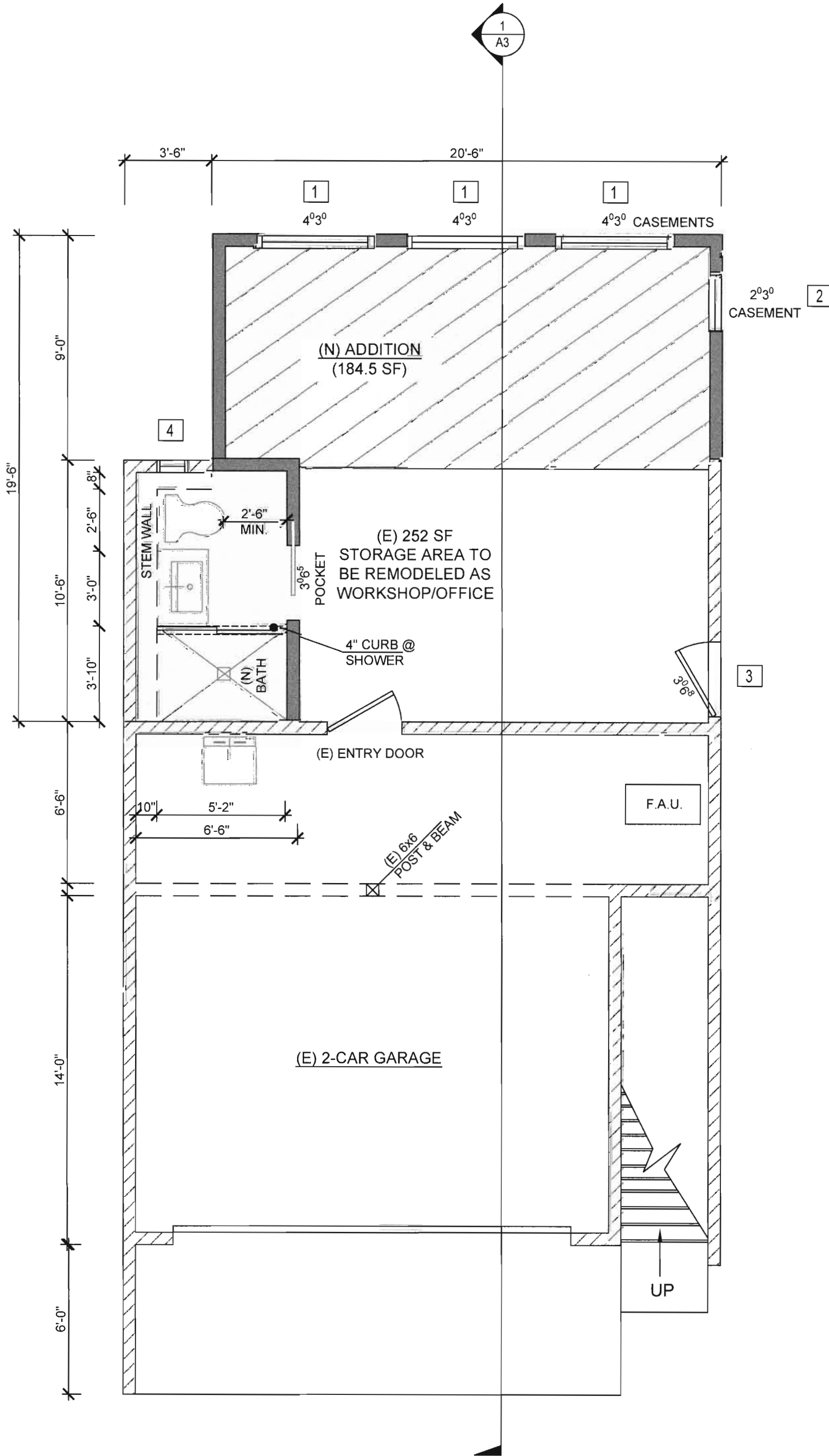
1. WATER CLOSETS REQUIRE A MINIMUM 15" OF CLEARANCE FROM THE CENTER LINE TO A SIDE WALL OR OBSTRUCTION AND 24 INCHES OF CLEAR SPACE IN FRONT.
2. SHOWER COMPARTMENTS REQUIRE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES AND BE CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE FROM FINISHED WALL TO FINISHED GLAZING. SURFACES SHALL BE WATERPROOF UP TO 72 INCHES ABOVE THE DRAIN OUTLET. MATERIAL BASE FOR TILE SHALL BE GLASS MAT GYPSUM BACKING PANEL, NON-ASBESTOS FIBER-CEMENT BACKER BOARD OR NON-ASBESTOS FIBER-MAT REINFORCED CEMENTITIOUS BACKER UNIT. PROVIDE A MINIMUM 22 INCH CLEAR OPENING AT THRESHOLDS. PROVIDE A MINIMUM 22 INCH CLEAR OPENING FOR SHOWER DOOR EGRESS. GLASS SHOWER DOORS AND PARTITIONS SHALL BE TEMPERED OR SAFETY GLASS, AND SHALL BE PROPERLY SUPPORTED ON ALL EDGES. WOOD WINDOWS ARE NOT ALLOWED WITHIN SHOWER ENCLOSURE.
3. CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED SUCH THAT THE SPRAY DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE AND THE BATHER CAN ADJUST THE VALVE WITHOUT STEPPING INTO THE SPRAY.
4. SHOWERS, TUB-SHOWER COMBINATIONS AND BATHTUBS SHALL BE PROVIDED WITH CONTROL VALVES WITH ANTI-SCALD PROTECTION. SUCH VALVES SHALL BE OF THE PRESSURE BALANCING AND/OR THERMOSTATICALLY CONTROLLED TYPE.
5. HAND-HELD SHOWERHEADS ATTACHED TO FLEXIBLE HOSES SHALL BE PROVIDED WITH AN APPROVED METHOD OF BACKFLOW PREVENTION IF THE HEAD CAN BE PLACED BELOW THE FLOOD LEVEL.
6. WATER CLOSETS REQUIRE MAXIMUM 1.28 GALLON FLUSH, SHOWERHEADS MAXIMUM 1.8 GALLONS PER MINUTE, LAVATORY FAUCETS MAXIMUM 1.2 GALLONS PER MINUTE.
7. PROVIDE TEMPERED GLAZING FOR WINDOWS WHERE THE BOTTOM EDGE OF GLAZING IS LESS THAN 60 INCHES:
A. ABOVE THE STANDING SURFACE IN A TUB OR SHOWER.
B. WITHIN 60 INCHES MEASURED HORIZONTALLY FROM THE WATER'S EDGE OF A TUB OR SHOWER PROVIDE TEMPERED OR SAFETY GLAZING.



(E) LOWER LEVEL/GARAGE
& STORAGE

SCALE: 1/4" = 1'-0"

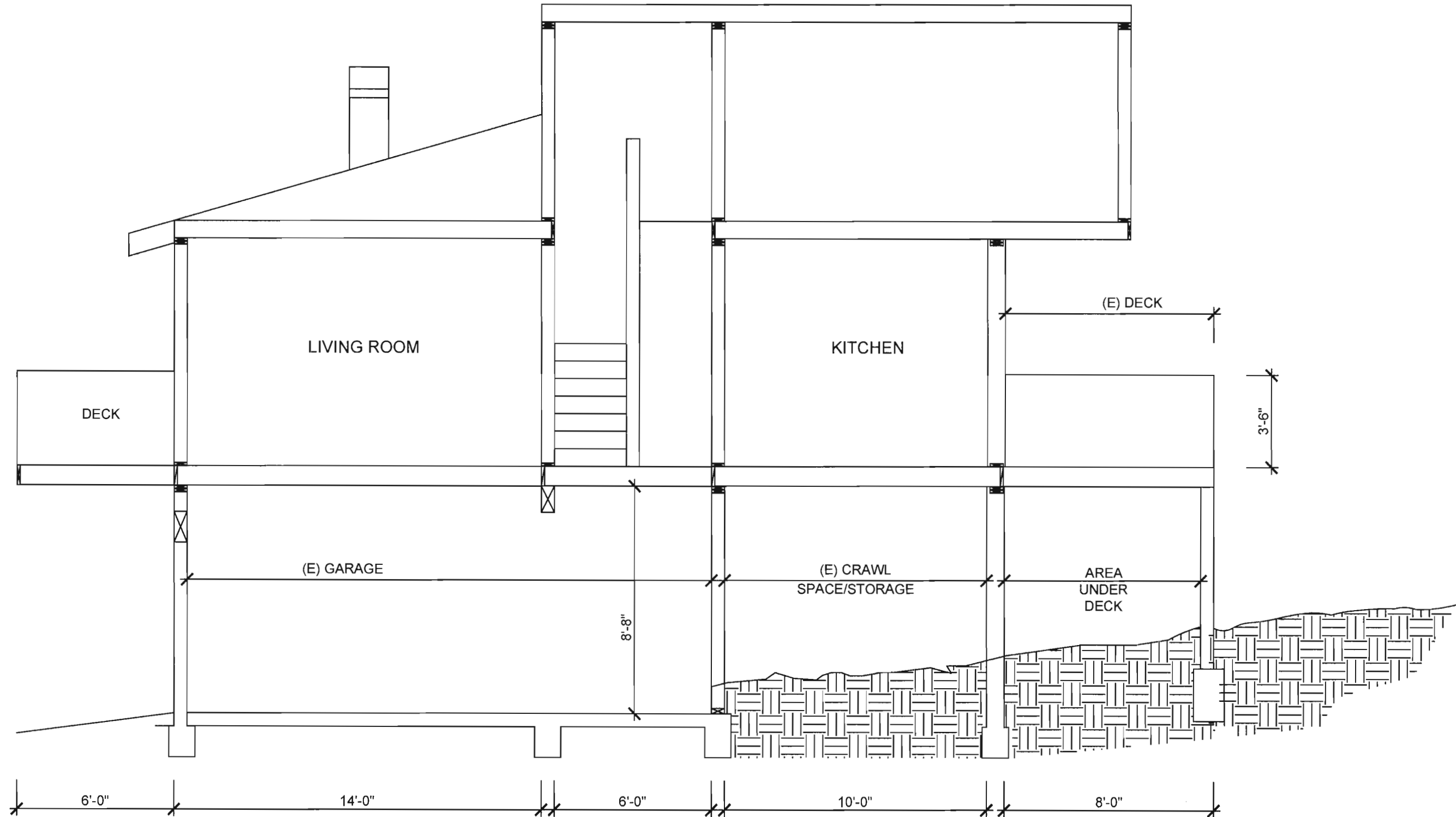
GARAGE = 436 SF
STORAGE = 252 SF



(P) LOWER LEVEL/GARAGE
& OFFICE/WORKSHOP

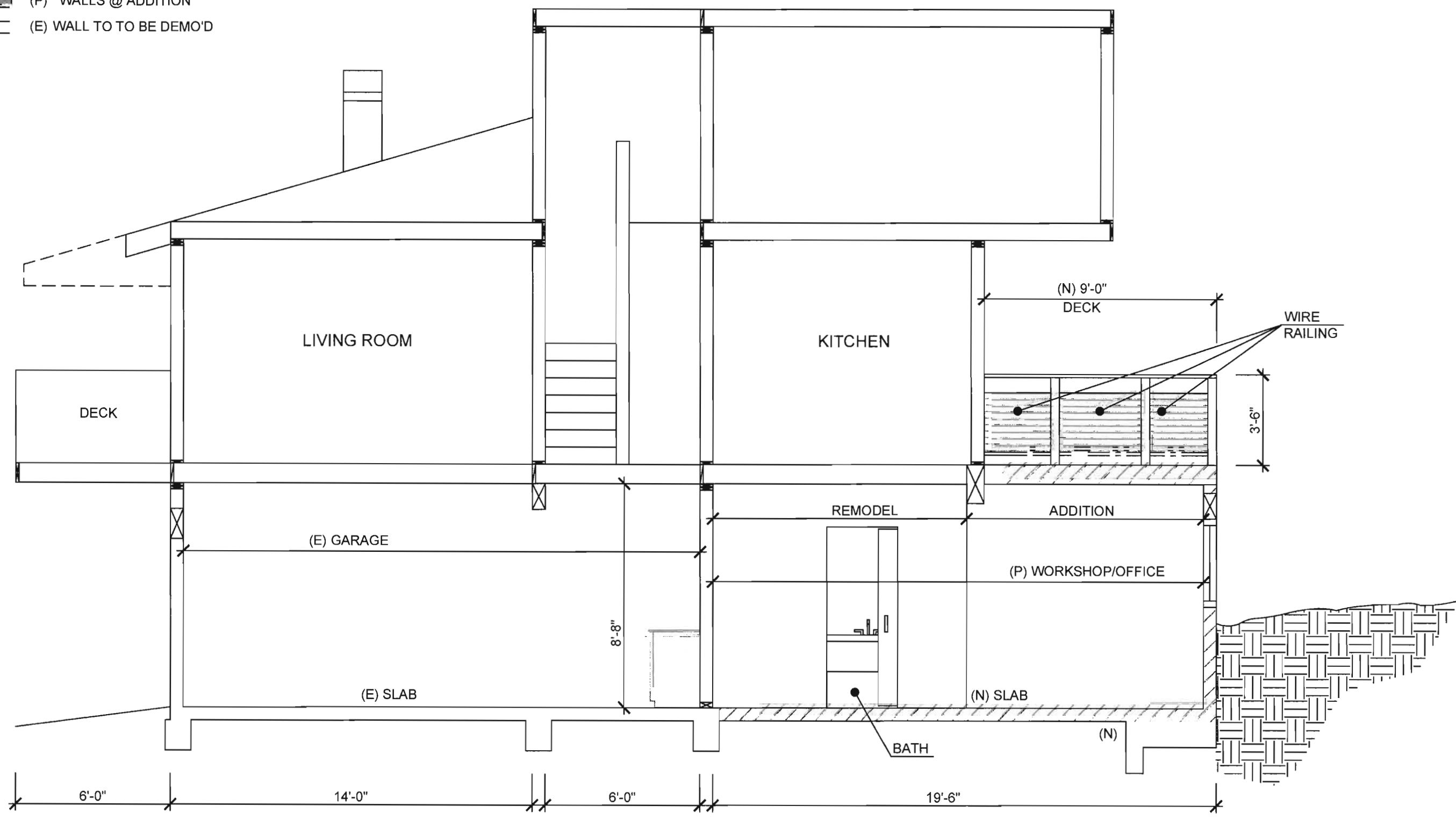
SCALE: 1/4" = 1'-0"

GARAGE = 436 SF
OFFICE/WORKSHOP = 436.5 SF



(E) BUILDING SECTION

SCALE: 1/4" = 1'-0"



(P) BUILDING SECTION

SCALE: 1/4" = 1'-0"

- NOTES:
- (N) WALL INSULATION = R-22
 - (N) ROOF INSULATION = R-30
 - WOOD OR COMPOSITE DECK SURFACE

REVISIONS		
NO.	DATE	COMMENT

ISSUE HISTORY	
ISSUED FOR:	DATE

(E) & (P)
LOWER LEVEL
FLOOR PLANS
& SECTIONS

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2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE AND
2022 CALIFORNIA ENERGY STANDARDS.

Date: MAR. 12, 2025

Scale: 1/4" = 1'-0"

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Job:

Sheet:

A3.0
4 of 10 Sheets

REVISIONS		
NO.	DATE	COMMENT

ISSUE HISTORY	
ISSUED FOR:	DATE

(E) & (P)
ELEVATIONS

ALL CONSTRUCTION, REGARDLESS
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2022 CALIFORNIA ELECTRICAL CODE AND
2022 CALIFORNIA ENERGY STANDARDS.

Date: MAR. 12, 2025

Scale: $\frac{1}{4}" = 1'-0"$

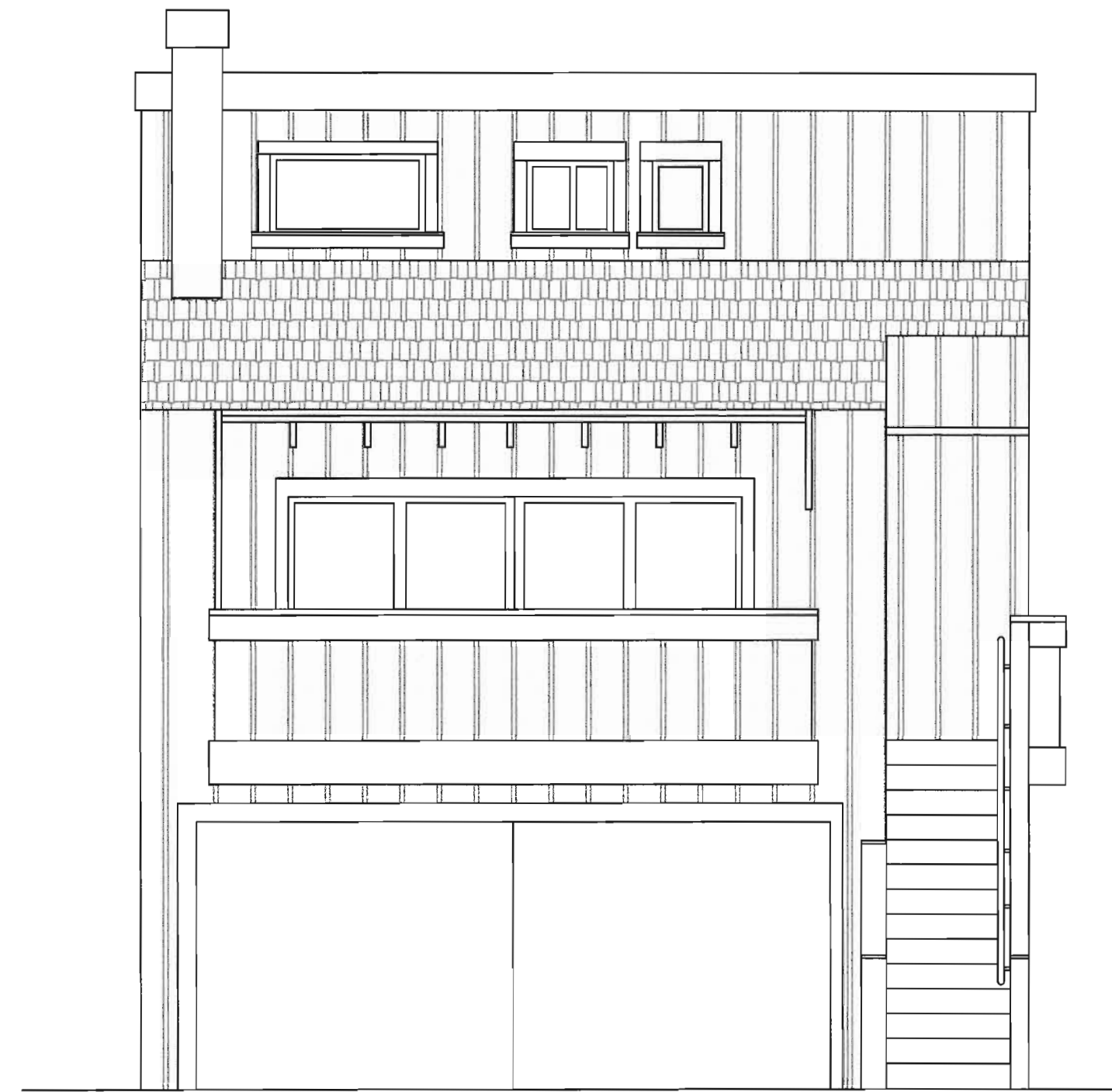
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Job:

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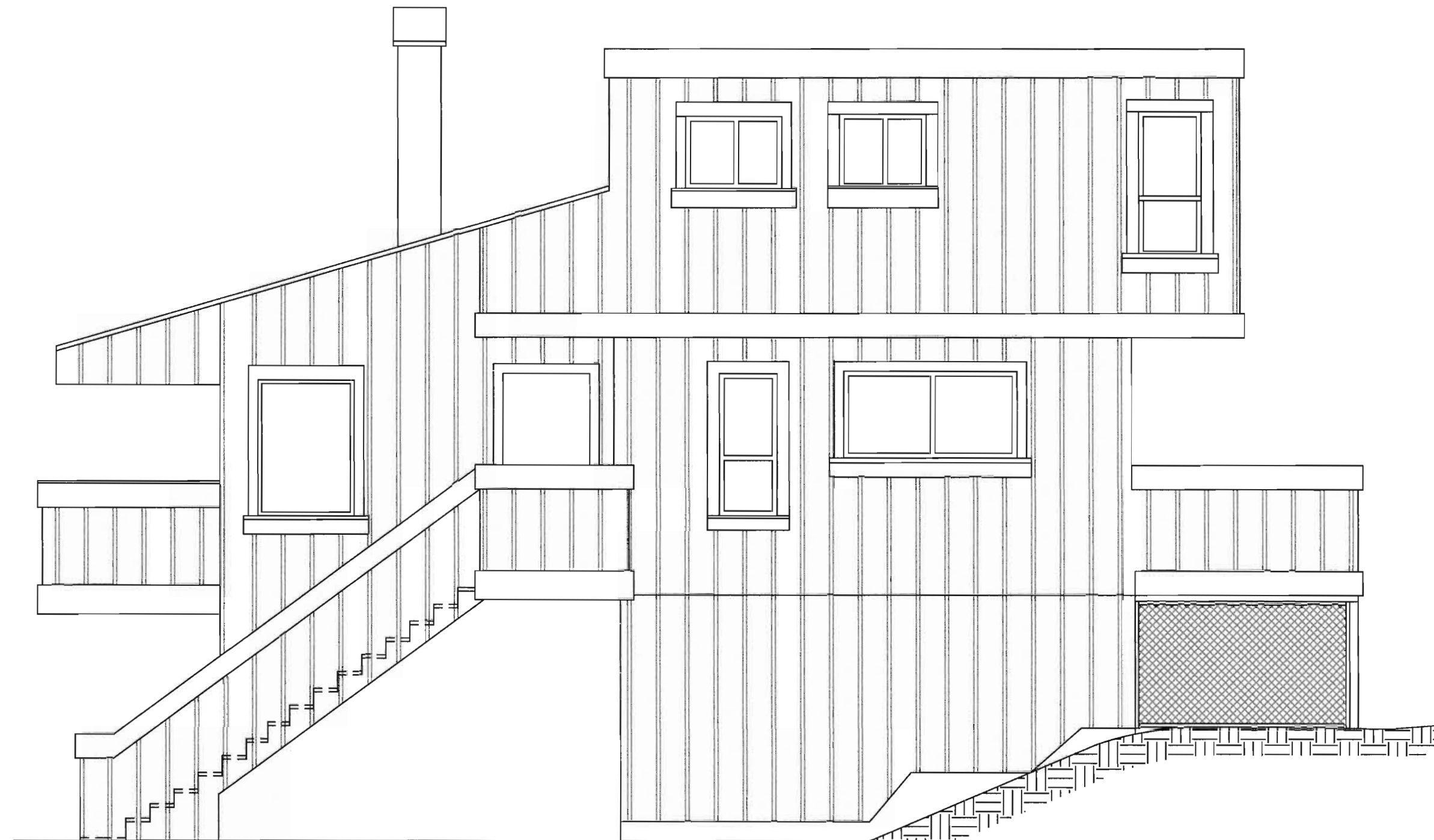
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5 of 10 Sheets



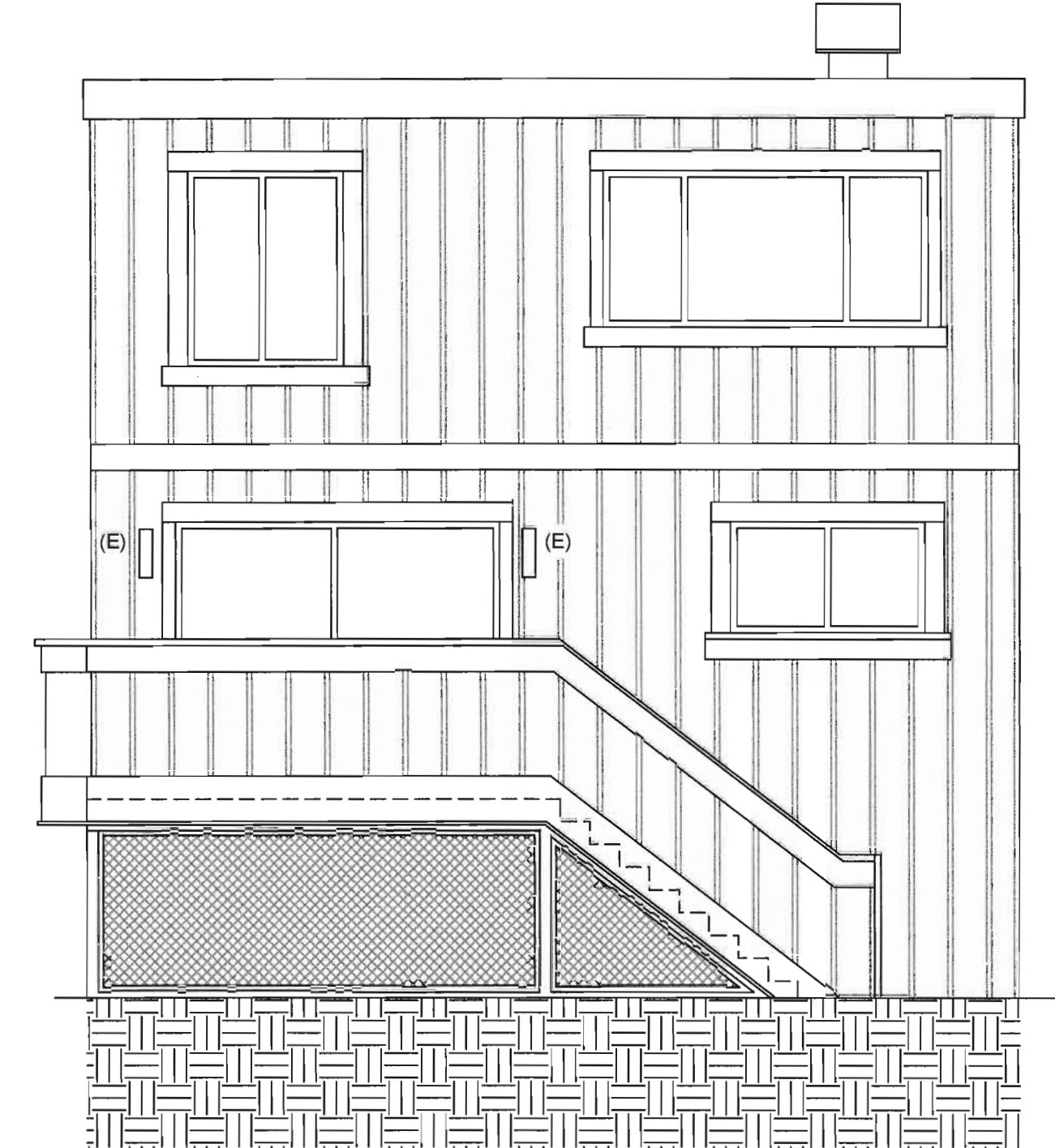
(E) FRONT ELEVATION

SCALE: 1/4" = 1'-0"



(E) SIDE ELEVATION

SCALE: 1/4" = 1'-0"



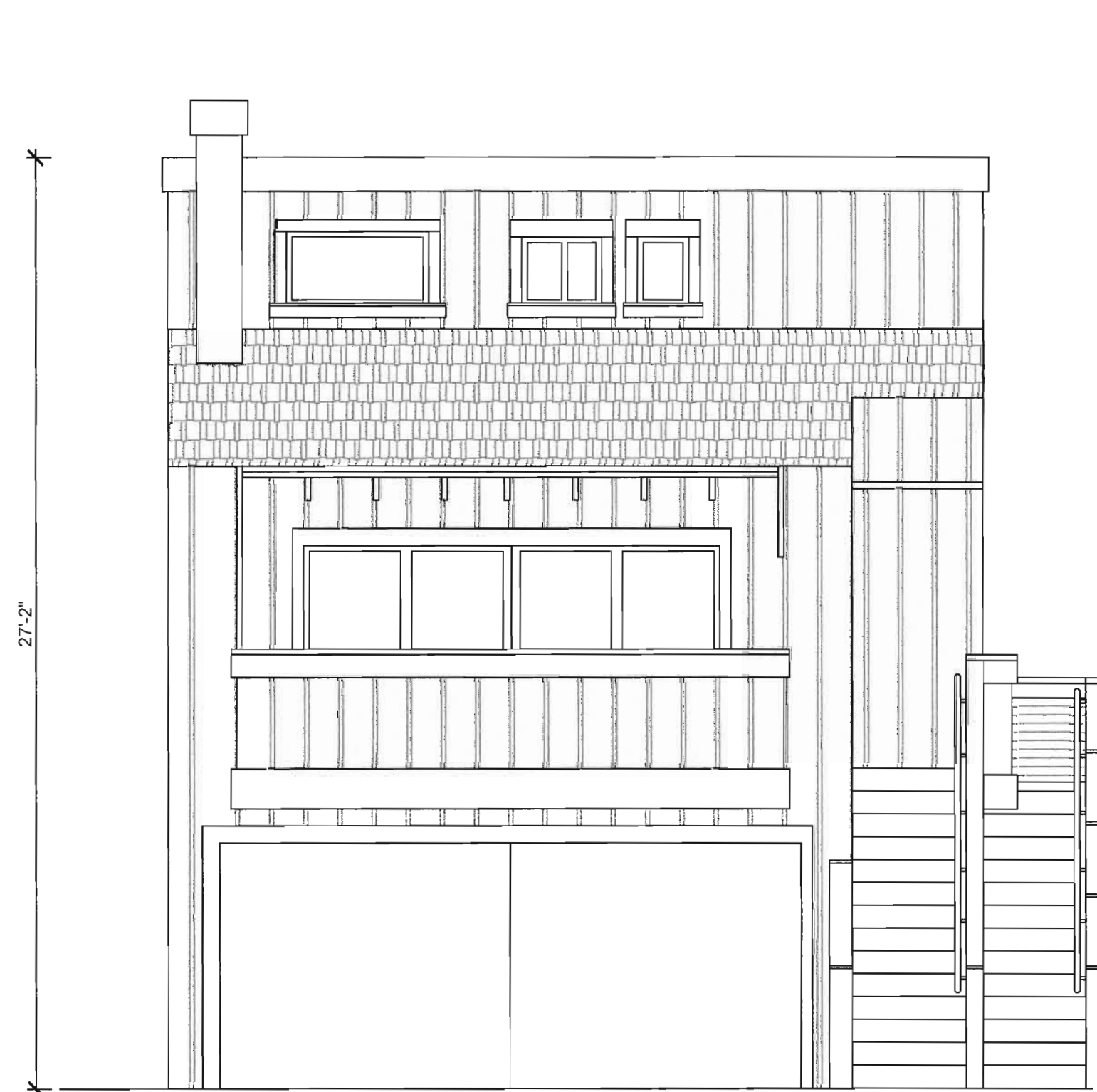
(E) REAR ELEVATION

SCALE: 1/4" = 1'-0"

SKYLIGHT, WINDOW AND DOOR SCHEDULE

#	QUANTITY	SIZE	MATERIAL	MANUFACTURER	PRODUCT #
1	3	4'0"3'	BLACK EXT., WHITE INT. CASEMENTS	V300 - MILGARD	TBD
2	1	2'0"3'	BLACK EXT., WHITE INT. CASEMENTS	V300 - MILGARD	TBD
3	1	3'6"8	BLACK EXT., WHITE INT. EXT. HINGED, IN-SWING SINGLE GLASS paneled DOOR	TRIMLITE	TBD
4	1	1'0"1'	BLACK EXT., WHITE INT. AWNING	V300 - MILGARD	TBD

LIGHT AND VENTILATION CALCULATIONS			
	MINIMUM	(P)	%
LIGHT	8%	46 SF 436.5 SF	10.53%
VENTILATION	4%	62 SF 436.5 SF	14.2%



(P) FRONT ELEVATION

SCALE: 1/4" = 1'-0"



(P) SIDE ELEVATION

SCALE: 1/4" = 1'-0"



(P) REAR ELEVATION

SCALE: 1/4" = 1'-0"

- NOTES:
- TIMBERTECH DECKING AND CABLE RAILING @ STAIRS
 - WIRE RAILING @ DECK

- 1 - SMOKE ALARMS SHALL BE INSTALLED PER SECTION R314 OF CRC.
- 2 - CARBON MONOXIDE ALARMS SHALL BE INSTALLED PER SECTION R315 OF CRC.
- 3 - ALL RECEPTACLES IN DWELLING UNITS FOR 125 VOLT, 15 AND 20 AMP SHALL BE LISTED AMPER-RESISTANT RECEPTACLES PER SECTION 406.11 OF CEC.
- 4 - ALL 120 V SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) COMBINATION TYPE INSTALL TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT AS PER SECTION 210.12 CEC.
- 5 - ALL EXTERIOR & INTERIOR LIGHTING = LED

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Kirchner Milani Res (E+A)
Calculation Description: Title 24 Analysis

Calculation Date/Time: 2024-02-21T15:53:32-08:00
Input File Name: 1012KIRrev.rbd22x

CF1R-PRF-01E

(Page 7 of 13)

01	02	03	04	05	06	07	08	09	10
Name	Zone	Area (ft ²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Status	Verified Existing Condition
Slab-on-Grade	Addition Zone	467	88	none	0	80%	No	New	n/a
Slab-on-Grade 2	Garage	436	65	none	0	0%	No	Existing	No

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
Garage Wall	Exterior Walls	Wood Framed Wall	2x6 @ 16 in. O. C.	R-0	None / None	0.29	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x6 Exterior Finish: Wood Siding/sheathing/decking
Ex No HERS Ver 2x4 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.302	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Exterior Finish: Wood Siding/sheathing/decking
R-19 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 16 in. O. C.	R-19	None / None	0.07	Inside Finish: Gypsum Board Cavity / Frame: R-19 in 5-1/2 in. (R-18) / 2x6 Exterior Finish: Wood Siding/sheathing/decking
Ex No HERS Ver Roof (Gath)	Cathedral Ceilings	Wood Framed Ceiling	2x4 @ 16 in. O. C.	R-11	None / None	0.088	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-11 / 2x4 Inside Finish: Gypsum Board

Registration Number: 424-P010031538A-000-000-0000000-0000
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CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220901
Registration Date/Time: 02/21/2024 21:41
HERS Provider: CHERS
Report Generated: 2024-02-21 15:53:47

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Kirchner Milani Res (E+A)
Calculation Description: Title 24 Analysis

Calculation Date/Time: 2024-02-21T15:53:32-08:00
Input File Name: 1012KIRrev.rbd22x

CF1R-PRF-01E

(Page 13 of 13)

DOCUMENTATION AUTHORITY'S DECLARATION STATEMENT

I, I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name:
Samuel Suzuki

Documentation Author Signature:
Samuel Suzuki

Company:
Energy Calc Co.

Signature Date:
02/21/2024

Address:
45 Mitchell Blvd #16
San Rafael, CA 94903

CEA/HERS Certification Identification (if applicable):
Phone:
415-457-0990

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:

- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building designs identified on this Certificate of Compliance.
- I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name:
Meredith Mill

Responsible Designer Signature:
Meredith Mill

Company:
Millworks Design/Construction

Date Signed:
02/21/2024

Address:
904 Sir Francis Drake Boulevard
Kentfield, CA 94904

License:
793052
Phone:
(415) 451-4552

Digitally signed by California Home Energy Efficiency Rating Services (CHERS). This digital signature is provided in order to secure the content of this registered document, and in no way implies registration Provider responsibility for the accuracy of the information.

Registration Number: 424-P010031538A-000-000-0000000-0000
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Report Version: 2022.0.000
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HERS Provider: CHERS
Report Generated: 2024-02-21 15:53:47

NOTES

4.201.1 - BUILDING MEETS OR EXCEEDS THE REQUIREMENTS OF THE CA BUILDING ENERGY EFFICIENCY STANDARDS.

4.303.1 - INDOOR WATER USE. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) INSTALLED IN RESIDENTIAL BUILDING SHALL COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF THE SECTIONS 4.303.1.1 THROUGH 4.303.1.4.5.

4.303.1.4.3 - INDOOR WATER USE. METERING FAUCETS IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN .2 GALS PER CYCLE.

4.303.3 - INDOOR WATER USE. PLUMBING FIXTURES AND FITTING REQUIRED IN SECTION 4.303.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE CPC AND SHALL MEET THE APPLICABLE REFERENCED STANDARDS.

4.304.1 - OUTDOOR WATER USE. RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CA DEPARTMENT OF WATER RESOURCES MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEL0), WHICHEVER IS MORE STRINGENT.

4.405.3 - MATERIAL SOURCES. POST CONSUMER OR PRECONSUMER RECYCLED CONTENT VALUE (RCV) MATERIALS ARE USED ON THE PROJECT, NOT LESS THAN A 10% RECYCLED CONTENT VALUE.

4.405.1 - ENHANCED DURABILITY AND REDUCED MAINTENANCE. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

4.408.1 - CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING. CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE IN COMPLIANCE WITH AT LEAST 65% REDUCTION. ANY MIXED RECYCLABLES THAT ARE SENT TO MIXED-WASTE RECYCLING FACILITIES SHALL INCLUDE A QUALIFIED THIRD PARTY VERIFIED FACILITY AVERAGE DIVERSION RATE. VERIFICATION OF DIVERSION RATES SHALL MEET MINIMUM CERTIFICATION ELIGIBILITY GUIDELINES, ACCEPTABLE TO THE LOCAL ENFORCING AGENCY.

4.410.1 - BUILDING MAINTENANCE AND OPERATION. AN OPERATION MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.

4.504.1 - POLLUTANT CONTROL. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.

4.504.2.1 - POLLUTANT CONTROL. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.

4.504.2.2 - POLLUTANT CONTROL. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.

4.504.2.4 - POLLUTANT CONTROL. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.

4.504.3 - POLLUTANT CONTROL. THERMAL INSULATION INSTALLED IN THE BUILDING SHALL BE IN COMPLIANCE WITH VOC LIMITS.

4.505.2 - INTERIOR MOISTURE CONTROL. VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS.

4.505.3 - INTERIOR MOISTURE CONTROL. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.

4.507.2 - ENVIRONMENTAL COMFORT. DUCT SYSTEMS ARE SIZED, DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS.

- ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA 2 MANUAL J-2016 OR EQUIVALENT.
- SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D - 2016 OR EQUIVALENT.
- SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2014 OR EQUIVALENT.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Kirchner Milani Res (E+A)
Calculation Description: Title 24 Analysis

Calculation Date/Time: 2024-02-21T15:53:32-08:00
Input File Name: 1012KIRrev.rbd22x

CF1R-PRF-01E

(Page 8 of 13)

OPAQUE SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-22 Roof	Cathedral Ceilings	Wood Framed Ceiling	2x10 @ 16 in. O. C.	R-22	None / None	0.046	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-22 / 2x10 Inside Finish: Gypsum Board
R-19 Wall	Interior Walls	Wood Framed Wall	2x6 @ 16 in. O. C.	R-19	None / None	0.069	Inside Finish: Gypsum Board Cavity / Frame: R-19 in 5-1/2 in. (R-18) / 2x6 Other Side Finish: Gypsum Board
Attic Roof/Existing Zone	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / 0	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
Ex No HERS Ver Roof (Att)	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 16 in. O. C.	R-11	None / None	0.083	Over Ceiling Joists: R-19 Insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board
Ex No HERS Ver Floor (No-)	Exterior Floors	Wood Framed Floor	2x12 @ 16 in. O. C.	R-0	None / None	0.24	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x12
Ex No HERS Ver Floor (No-1)	Interior Floors	Wood Framed Floor	2x12 @ 16 in. O. C.	R-0	None / None	0.196	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x12 Ceiling Below Finish: Gypsum Board

Registration Number: 424-P010031538A-000-000-0000000-0000
NOTES: This document has been generated by California Home Energy Efficiency Rating Services (CHERS) using information updated by third parties not affiliated with or related to CHERS. Therefore, CHERS is not responsible for, and cannot guarantee, the accuracy or completeness of the information contained in this document.
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220901
Registration Date/Time: 02/21/2024 21:41
HERS Provider: CHERS
Report Generated: 2024-02-21 15:53:47

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Kirchner Milani Res (E+A)
Calculation Description: Title 24 Analysis

Calculation Date/Time: 2024-02-21T15:53:32-08:00
Input File Name: 1012KIRrev.rbd22x

CF1R-PRF-01E

(Page 12 of 13)

HERS RATER VERIFICATION OF EXISTING CONDITIONS

Registration Number: 424-P010031538A-000-000-0000000-0000
NOTES: This document has been generated by California Home Energy Efficiency Rating Services (CHERS) using information updated by third parties not affiliated with or related to CHERS. Therefore, CHERS is not responsible for, and cannot guarantee, the accuracy or completeness of the information contained in this document.
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220901
Registration Date/Time: 02/21/2024 21:41
HERS Provider: CHERS
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MARIN COUNTY GREEN BUILDING FORM
STANDARDS FOR SINGLE-FAMILY RENOVATIONS LESS THAN 750 SQUARE FEET

The provisions of this checklist apply to projects where the cumulative scope of the permitted work is less than 750 square feet. These green building standards have been established to ensure that single-family residential (one- and two-family dwellings and townhouses) renovations (aka additions and alterations) in Marin County is healthy for occupants, has limited impact on the environment, reduces demand for energy, and results in cost savings from building operation. Requirements were adopted November 2022 and enforced starting January 1, 2023, ending December 31, 2025. The three-step process below helps applicants understand and comply with the County's green building requirements. Please reference Title 19.04 and 19.07 of the Marin County Building Code to comply.

GREEN BUILDING PROJECT PROCESS

1 PROJECT DESIGN

It is important for project owners, architects, engineers, and designers to understand the applicable state and local green building requirements prior to project design. Early consideration of these standards allows for design of buildings and systems that are compliant, energy efficient, and cost effective, and minimize back and forth.

2 PLANNING APPLICATION (IF REQUIRED)

If your project is subject to planning review, be prepared to identify in your planning application what compliance methods you've selected and how you plan to meet the requirements. If you anticipate difficulties meeting the requirements outlined in the Green Building Checklist, these concerns and any requests for exemptions should be identified in your planning application.

3 INITIAL BUILDING PERMIT SUBMITTAL

All the following MUST be included with your initial application for a building permit:

- Completed [Marin County Green Building Checklist](#) (page 2-3)
- Completed [Marin County CAL Green Checklist](#) (pages 4-10), with plan sheet references where applicable.
- Energy code compliance documents as required under State Energy Code

DEFINITION OF "NEW CONSTRUCTION"

Removal or substantial modification of more than 75 percent of the linear sum of a building's exterior walls for each story shall be considered demolition of the building (County of Marin Development Code Chapter 22, 130.030), triggering the new construction requirements. If your renovation (addition and alteration) project meets this definition, please see the guide for new construction.

FOR PROJECTS SUBMITTED ON OR AFTER JANUARY 1, 2023

1

MARIN COUNTY GREEN BUILDING CHECKLIST
STANDARDS FOR SINGLE-FAMILY RENOVATIONS LESS THAN 750 SQUARE FEET

PROJECT ADDRESS: 64 LINCOLN DR.

APN: 064 321 19 APPLICANT NAME: MEREDITH MILL

1. GREEN BUILDING AND EV READINESS

Complete this Marin County Green Building Checklist AND CAL Green Checklist: Standards for Residential Renovations Less Than 750 square feet
VERIFICATION: The checklist will be verified by a County plans examiner.

2. ENERGY EFFICIENCY AND ELECTRIFICATION

Meet the standards outlined for the project in the State Building Energy Efficiency Standards. While local standards for renovations less than 750 square feet do not require applicants to exceed statewide energy efficiency codes, be aware of the mandatory requirements established by the state that may apply to your project. Changes that may trigger additional requirements or HERS verification may include, but are not limited to, the addition, alteration, or expansion of:
• Fenestration, including windows, skylights, and doors with more than 3 sq.ft. of glass
• Insulation and Ducts
• New space heating and cooling, water heating, and ventilation systems
VERIFICATION: Attach Title 24 Energy Reports that complies with State minimum energy code

3. LOW CARBON CONCRETE (Check One of the Following)

Permit application includes completed Cement or Embodied Carbon limit compliance forms that can be found on the County's Low-Carbon Concrete Requirements webpage.
VERIFICATION: Compliance forms must be signed re-submitted after completion of poured concrete along with batch (proof) receipts. SEE S.I.O RE: CONCRETE

Not applicable; the project does not include pouring new concrete.

4. PROJECT VERIFICATION

This form and all referenced forms herein have been completed by MEREDITH MILL (name) of MILLWORKS DESIGN (company), the party responsible for this building permit application for the above listed project who affirms under penalty of perjury that it accurately represents the project plans. Applicant still must complete the CAL Green Checklist and/or Low Carbon Concrete form, as applicable.

Signature: Meredith Mill Date: 2.16.2024
Name (Please Print): MEREDITH MILL

FOR PROJECTS SUBMITTED ON OR AFTER JANUARY 1, 2023

2

MILLWORKS
DESIGN/CONSTRUCTION

904 SIR FRANCIS DRAKE #1
KENTFIELD, CA 94904
Telephone: (415) 246-4484

PROJECT:

BASEMENT REMODEL/
ADDITION WITH FULL
BATH & (N) REAR DECK

64 LINCOLN DRIVE
SAUSALITO, CA 94965
APN: 064 321 19

OWNER:

TAYLOR KIRCHNER
& NICK MILANI
64 LINCOLN DRIVE
SAUSALITO, CA 94965
APN: 064 321 19
kirchner.t@gmail.com
nicholasrossmilani@gmail.com
TEL (510) 938-7132
TEL (415) 342-0066

DESIGNER:

MEREDITH MILL
904 SIR FRANCIS DRAKE #1
KENTFIELD, CA 94904
TEL (415) 246-4484
meredithmill@gmail.com

ENGINEER:

REECE RELATORES
RELATORES STRUCTURAL
TEL (510) 788-1825
reece@relatoresstructural.com

CONTRACTOR:

TBD
Reece Relatores
3.26.2025

REVISIONS		
NO.	DATE	COMMENT

ISSUE HISTORY

ISSUED FOR:	DATE

TITLE 24 (CONT.)
& GREEN
BUILDING FORM

ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH 2019 CALIFORNIA BUILDING CODE, 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA ELECTRICAL CODE AND 2022 CALIFORNIA ENERGY STANDARDS.

Date: MAR. 12, 2025

Scale:

Drawn By:

Job:

Sheet:

A7.0

8 of 10 Sheets

PROJECT:
BASEMENT REMODEL/
ADDITION WITH FULL
BATH & (N) REAR DECK64 LINCOLN DRIVE
SAUSALITO, CA 94965
APN: 064 321 19OWNER:
TAYLOR KIRCHNER
& NICK MILANI
64 LINCOLN DRIVE
SAUSALITO, CA 94965
APN: 064 321 19
kirchner.t@gmail.com
nicholasrossmilani@gmail.com
TEL: (510) 838-7132
TEL: (415) 342-0066DESIGNER:
MEREDITH MILL
904 SIR FRANCIS DRAKE #1
KENTFIELD, CA 94904
TEL: (415) 246-4484
meredithmill@gmail.comENGINEER:
REECE RELATOIRES
RELATOIRES STRUCTURAL
TEL: (510) 788-1825
reece@relatoiresstructural.comCONTRACTOR:
TBD*Graced Rice*
3.26.2025

REVISIONS		
NO.	DATE	COMMENT

ISSUE HISTORY	
ISSUED FOR:	DATE

GREEN BUILDING
FORM (CONT.)ALL CONSTRUCTION, REGARDLESS
OF DETAILS ON PLANS, SHALL COMPLY
WITH 2019 CALIFORNIA BUILDING CODE,
2022 CALIFORNIA PLUMBING CODE,
2022 CALIFORNIA MECHANICAL CODE,
2022 CALIFORNIA ELECTRICAL CODE AND
2022 CALIFORNIA ENERGY STANDARDS.

Date: MAR. 12, 2025

Scale:

Drawn By:

Job:

Sheet:

A8.0

9 of 10 Sheets

5. SUMMARIZING ENERGY END USE (CHECK BOXES AND INPUT VALUES):

☒ Total Conditioned Floor Area within the Project Scope 436.5 square feet

SELECT either the Performance or Prescriptive-based Compliance Pathway below and submit appropriate documentation as requested (Check One of the Following):

☒ For projects using the Performance Based Pathway to Compliance, submit data extract in .xml format from the 2022 Energy Code Compliance Software (CBECC or EnergyPro)

- ☐
- For projects using the Prescriptive Based Pathway to Compliance (Check One of the Following):
-
- ☐
- Submit data extract in .xml format from the 2022 Energy Code Compliance Software (CBECC-Res or EnergyPro), OR
-
- ☐
- If Energy Code Compliance Software was not used, please select the following measures planned for installation in Table 1 below, within the scope of your project (check all that apply):

Table 1. Measures and Appliances Installed			
Check All That Apply	Measures Installed	Check All That Apply	Measures Installed
☒	Air Sealing	☐	Heat Pump Water Heater, High Efficiency, NEEA Tier 3
☐	Cool Roof	☐	Hot water pipe and tank insulation, low-flow fixtures
☒	Duct Sealing	☐	Induction Cooktop
☐	Exterior Photosensor	☒	LED lamp vs CFL
☐	Heat Pump Dryer	☐	New Ducts
☐	Heat Pump HVAC	☐	R-49 Attic Insulation
☐	Heat Pump HVAC, High Efficiency, SEER 21 or greater, HSPF 11 or greater	☐	Solar PV _____ kW DC
☐	Heat Pump Water Heater	☐	Battery (storage) _____ kWh
☐	Other (please describe): _____		

VERIFICATION: Compliance will be verified by 1) submitting 2022 Energy Code Compliance Software data extract (.xml) and attaching Title 24 Energy Reports that complies with State minimum energy code, OR 2) completing Table 1 above.

FOR PROJECTS SUBMITTED ON OR AFTER JANUARY 1, 2023

3

MARIN COUNTY CALGREEN CHECKLIST
STANDARDS FOR SINGLE-FAMILY RENOVATIONS LESS THAN 750 SQUARE FEET

This checklist is effective January 1, 2023 and applies to additions and alterations of one- and two-family dwellings and townhouses with attached private garages.

The provisions of this checklist apply to projects where the cumulative scope of the permitted work being added to or altered is less than 750 square feet. Existing site and landscaping improvements that are not otherwise disturbed are not subject to CALGreen.Submit this CALGreen checklist accompanied with the **Marin County Green Building Checklist** (see pages 2-3 above) with your plans to demonstrate compliance with the green building ordinance. This checklist includes modifications specific to Marin County. For more information on the County's Green Building requirements, please visit www.maringreenbuilding.orgFor more information on CALGreen and complete measure language, see [Marin County Building Code, Chapter 19.04.135, Subchapter 2](#) which requires (with amendments) CALGreen [Chapters 4](#) and [Appendix A4](#).

PROJECT DETAILS

Project Address 64 LINCOLN DR. APN 064 321 19
Applicant Name (Please Print) MEREDITH MILL

PROJECT VERIFICATION

The green building professional¹ has reviewed the plans and certifies that the mandatory and elective measures listed below are hereby incorporated into the project plans and will be implemented into the project in accordance with the requirements set forth in the 2022 California Green Building Standards Code as amended by the County of Marin.Signature *Graced Rice* Date 2.16.2024
Name (Please Print) MEREDITH MILL¹ A qualified building professional can be an architect, engineer, contractor, or qualified green building professional, such as a CALGreen Special Inspector or LEED AP.

FOR PROJECTS SUBMITTED ON OR AFTER JANUARY 1, 2023

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DIVISION 4.1 PLANNING AND DESIGN

- ✓ All measures are required (MANDATORY) unless not in project scope.
- ✓ Use the Checkboxes (8) to mark as Completed, Not Applicable (N/A), or the measure selected.

4.106.2 (MANDATORY) A plan is developed and implemented to manage stormwater runoff from the construction activities through compliance with the **County of Marin's Stormwater Runoff Pollution Prevention Ordinance**.Completed ☒ N/A ☐ Plan sheet reference (if applicable): A7.0**4.106.3 (MANDATORY)** Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.Completed ☒ N/A ☐ Plan sheet reference (if applicable): SEE ATTACHED SOILS REPORT, p. 4 & p. 6**A4.106.2.3 (MANDATORY)** Displaced topsoil shall be stockpiled for reuse in a designated area and covered or protected from erosion.Completed ☒ N/A ☐ Plan sheet reference (if applicable): SEE ATTACHED SOILS REPORT, p. 5**A4.106.4 (MANDATORY)** Permeable paving is utilized for not less than 20 percent of the total parking, walking, or patio surfaces.Completed ☐ N/A ☒ Plan sheet reference (if applicable): _____**A4.106.5 (MANDATORY)** Roofing materials shall have a minimum 3-year aged solar reflectance and thermal emittance or a minimum Solar Reflectance Index (SRI) equal to or greater than the values specified in Tables A4.106.5.1(3).
*In Marin County, this measure does not apply to low-rise residential. This measure applies only to high-rise residential buildings, hotels, and motels with a roof slope >2:12.*Completed ☐ N/A ☒ Plan sheet reference (if applicable): _____**A4.106.8.1 Tier 1 and Tier 2 (MANDATORY IF THE PROJECT SCOPE INCLUDES AN UPGRADE OF THE ELECTRICAL SERVICE PANEL)** For one- and two-family dwellings and townhouses with attached private garages, install a dedicated 208/240-volt branch circuit, including an overcurrent protective device rated at 40 amperes minimum per dwelling unit for future EV charging, in accordance with [Marin County Building Code, Chapter 19.04.135](#).Completed ☐ N/A ☒ Plan sheet reference (if applicable): _____

DIVISION 4.2 ENERGY EFFICIENCY

- ✓ All measures are required (MANDATORY) unless not in project scope.
- ✓ Use the Checkboxes (8) to mark as Completed, Not Applicable (N/A), or the measure selected.

4.201.1 (MANDATORY) Building meets or exceeds the requirements of the California Building Energy Efficiency Standards.Completed ☒ N/A ☐ Plan sheet reference (if applicable): A6.0 - A7.0

FOR PROJECTS SUBMITTED ON OR AFTER JANUARY 1, 2023

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DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

- ✓ All measures are required (MANDATORY) unless not in project scope.
- ✓ Use the Checkboxes (8) to mark as Completed, Not Applicable (N/A), or the measure selected.

4.303.1 Indoor Water Use (MANDATORY) Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4.303.1.1 through 4.303.1.4.5.Completed ☒ N/A ☐ Plan sheet reference (if applicable): A7.0**4.303.1.4.3 Indoor Water Use (MANDATORY)** – Metering faucets in residential buildings shall not deliver more than 0.2 gallons per cycle.Completed ☒ N/A ☐ Plan sheet reference (if applicable): A7.0**4.303.2 Indoor Water Use (MANDATORY)** – Submeters for multifamily building and dwelling units in mixed-use residential/commercial buildings. Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the *California Plumbing Code*.Completed ☐ N/A ☒ Plan sheet reference (if applicable): _____**4.303.3 Indoor Water Use (MANDATORY)** – Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the *California Plumbing Code* and shall meet the applicable referenced standards.Completed ☒ N/A ☐ Plan sheet reference (if applicable): A7.0**4.304.1 Outdoor Water Use (MANDATORY)** – Residential developments shall comply with local water efficient landscape ordinance or the current California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.Completed ☒ N/A ☐ Plan sheet reference (if applicable): A7.0**4.305.1 Water Reuse Systems (MANDATORY)** – Newly constructed residential developments, where disinfected tertiary recycled water is available from a municipal source to a construction site, may be required to have recycled water supply systems installed, allowing the use of recycled water for residential landscape irrigation systems.Completed ☐ N/A ☒ Plan sheet reference (if applicable): _____

FOR PROJECTS SUBMITTED ON OR AFTER JANUARY 1, 2023

6

DIVISION 4.4 MATERIAL CONSERVATION & RESOURCE EFFICIENCY

- ✓ All measures are required (MANDATORY) unless not in project scope.
- ✓ Use the Checkboxes (8) to mark as Completed, Not Applicable (N/A), or the measure selected.

A4.403.2 Foundation Systems (MANDATORY) – Cement use in foundation mix design is reduced in accordance with [Marin County Building Code, Chapter 19.07 – Carbon Concrete Requirements](#). Select one Pathway and submit the appropriate compliance forms during Plan review AND for Final Inspection:

- ☐
- Cement Limit Pathway
-
- ☐
- For Plan Review:
- [Design Team \(Structural Engineer/Architect\) Low Carbon Concrete Cement Compliance Form](#)
-
- ☐
- For Final Inspection:
- [Contractor Low Carbon Concrete Cement Compliance Form](#)
- accompanied by batch receipts from ready-mix supplier
-
- ☐
- Embodied Carbon Pathway
-
- ☐
- For Plan Review:
- [Design Team \(Structural Engineer/Architect\) Low Carbon Concrete EC Compliance Form](#)
-
- ☐
- For Final Inspection:
- [Contractor Low Carbon Concrete EC Compliance Form](#)
- accompanied by batch receipts from ready-mix supplier

Plan sheet reference (if applicable): SEE S1.0 FOR CONCRETE SPECS**A4.405.3 Material Sources (MANDATORY)** – Postconsumer or preconsumer recycled content value (RCV) materials are used on the project, not less than a 10 percent recycled content value.Completed ☒ N/A ☐ Plan sheet reference (if applicable): A7.0**4.406.1 Enhanced Durability and Reduced Maintenance (MANDATORY)** – Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.Completed ☒ N/A ☐ Plan sheet reference (if applicable): A7.0**4.408.1 Construction Waste Reduction, Disposal and Recycling (MANDATORY)** – Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with the reporting standards outlined by [Zero Waste Marin](#).Completed ☒ N/A ☐ Plan sheet reference (if applicable): A7.0**A4.408.1 Construction Waste Reduction, Disposal and Recycling (MANDATORY)** – Construction waste generated at the site is diverted to recycle or salvage in compliance with at least a 65 percent reduction. Any mixed recyclables that are sent to mixed-waste recycling facilities shall include a qualified third party verified facility average diversion rate. Verification of diversion rates shall meet minimum certification eligibility guidelines, acceptable to the local enforcing agency.Completed ☐ N/A ☒ Plan sheet reference (if applicable): _____

FOR PROJECTS SUBMITTED ON OR AFTER JANUARY 1, 2023

7

4.410.1 Building Maintenance and Operation (MANDATORY) – An operation and maintenance manual shall be provided to the building occupant or owner.Completed ☒ N/A ☐ Plan sheet reference (if applicable): A7.0**4.410.2 Building Maintenance and Operation (MANDATORY)** – Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance if more restrictive.Completed ☐ N/A ☒ Plan sheet reference (if applicable): _____

DIVISION 4.5 ENVIRONMENTAL QUALITY

- ✓ All measures are required (MANDATORY) unless not in project scope.
- ✓ Use the Checkboxes (8) to mark as Completed, Not Applicable (N/A), or the measure selected.

4.503.1 Fireplaces (MANDATORY) – Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with the U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances in accordance with [Marin County Building Code, Chapter 19.08](#).Completed ☐ N/A ☒ Plan sheet reference (if applicable): _____**4.504.1 Pollutant Control (MANDATORY)** – Duct openings and other related air distribution component openings shall be covered during construction.Completed ☒ N/A ☐ Plan sheet reference (if applicable): A7.0**4.504.2.1 Pollutant Control (MANDATORY)** – Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.Completed ☒ N/A ☐ Plan sheet reference (if applicable): A7.0**4.504.2.2 Pollutant Control (MANDATORY)** – Paints, stains and other coatings shall be compliant with VOC limits.Completed ☒ N/A ☐ Plan sheet reference (if applicable): A7.0**4.504.2.3 Pollutant Control (MANDATORY)** – Aerosol paints and coatings shall be compliant with product weighted MIR Limits for ROC and other toxic compounds.Completed ☐ N/A ☒ Plan sheet reference (if applicable): _____

FOR PROJECTS SUBMITTED ON OR AFTER JANUARY 1, 2023

8

4.504.2.4 Pollutant Control (MANDATORY) – Documentation shall be provided to verify that compliant VOC limit finish materials have been used.Completed ☒ N/A ☐ Plan sheet reference (if applicable): A7.0**4.504.3 Pollutant Control (MANDATORY)** – Carpet and carpet systems shall be compliant with VOC limits.Completed ☐ N/A ☒ Plan sheet reference (if applicable): _____**4.504.4 Pollutant Control (MANDATORY)** – 80 percent of floor area receiving resilient flooring shall comply with specified VOC criteria.Completed ☐ N/A ☒ Plan sheet reference (if applicable): _____**4.504.5 Pollutant Control (MANDATORY)** – Particleboard, medium density fiberboard (MDF), and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards.Completed ☐ N/A ☒ Plan sheet reference (if applicable): _____**A4.504.2 Pollutant Control (MANDATORY)** – Install VOC compliant resilient flooring systems. Ninety (90) percent of floor area receiving resilient flooring shall comply with the VOC-emission limits established in section A4.504.2.Completed ☐ N/A ☒ Plan sheet reference (if applicable): _____**A4.504.3 Pollutant Control (MANDATORY)** – Thermal insulation installed in the building shall be in compliance with VOC limits.Completed ☒ N/A ☐ Plan sheet reference (if applicable): A7.0**4.505.2 Interior Moisture Control (MANDATORY)** – Vapor retarder and capillary break is installed at slab on grade foundations.Completed ☒ N/A ☐ Plan sheet reference (if applicable): A7.0**4.505.3 Interior Moisture Control (MANDATORY)** – Moisture content of building materials used in wall and floor framing is checked before enclosure.Completed ☒ N/A ☐ Plan sheet reference (if applicable): A7.0

FOR PROJECTS SUBMITTED ON OR AFTER JANUARY 1, 2023

9

4.506.1 Indoor Air Quality and Exhaust (MANDATORY) – Each bathroom shall be provided with the following:

- ENERGY STAR fans ducted to terminate outside the building.
- Fans must be controlled by a humidity control (Separate or built-in), OR functioning as a component of a whole-house ventilation system.
- Humidity controls with manual or automatic means of adjustment, capable of adjustment between a relative humidity range of 5 to 50 percent to a maximum of 80 percent.

Completed ☐ N/A ☒ Plan sheet reference (if applicable): _____**4.507.2 Environmental Comfort (MANDATORY)** – Duct systems are sized, designed, and equipment is selected using the following methods:

- Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2016 or equivalent.
- Size duct systems according to ANSI/ACCA 1 Manual D – 2016 or equivalent.
- Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 or equivalent.

Completed ☒ N/A ☐ Plan sheet reference (if applicable): A7.0

FOR PROJECTS SUBMITTED ON OR AFTER JANUARY 1, 2023

10

Marin County Stormwater Pollution Prevention Program
Minimum Control Measures
For Small Construction Projects

NOTE: REMEMBER THAT STORM DRAINS AND RUNOFF FLOW DIRECTLY TO CREEKS, RIVERS AND BAYS UNTREATED

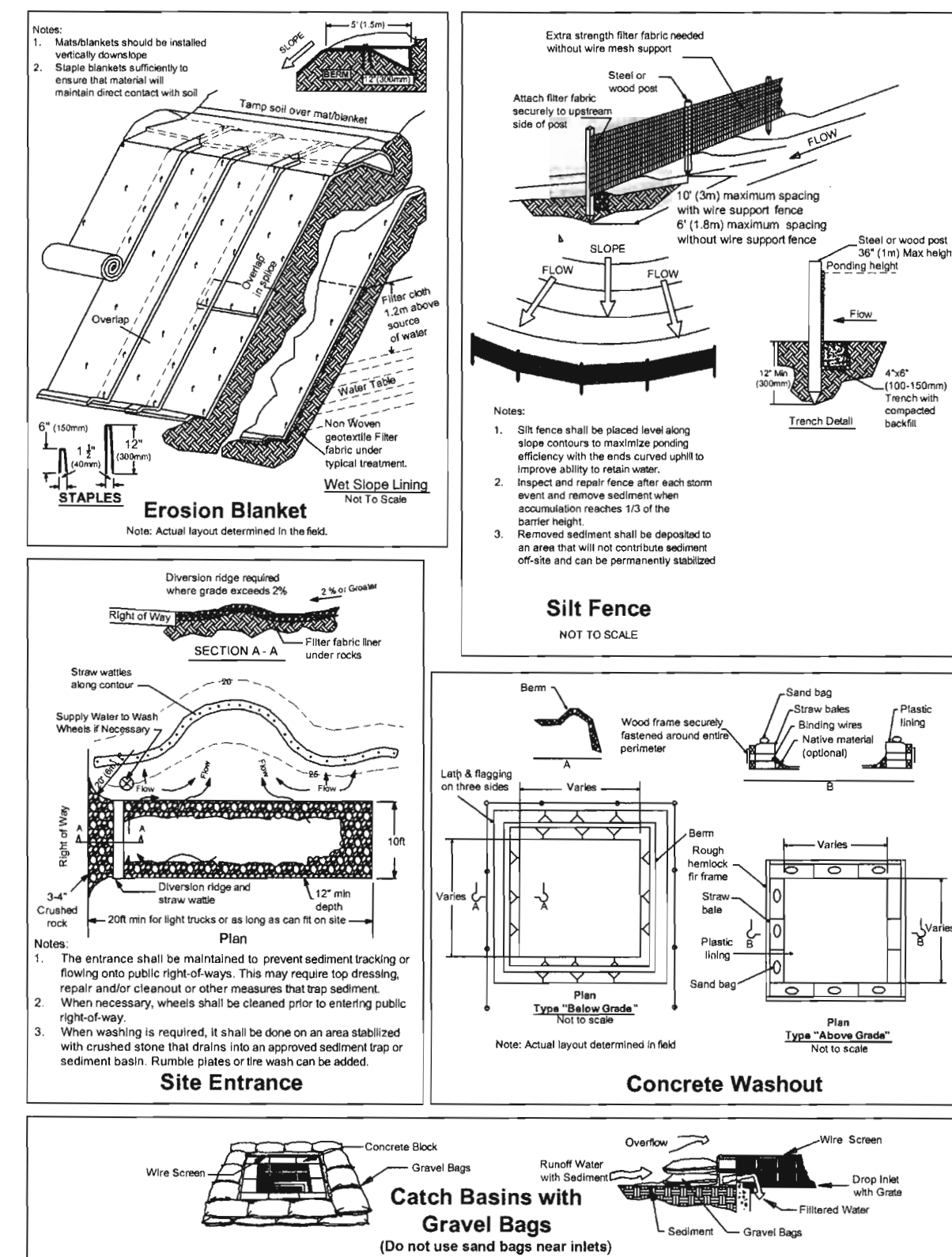
Erosion Controls	Sediment Controls	Good Housekeeping
NS Scheduling	8. Tracking Controls	10. Concrete Washout
1. Preserve Vegetation and Creek Set Backs	7. Fiber Rolls	11. Stockpile Management
2. Soil Preparation/Roughening	8. Silt Fence	12. Hazardous Material Management
3. Erosion Control Blankets	9. Drain Inlet Protection	13. Sanitary Waste Management
4. Revegetation	NS Trench Dewatering	14. Equipment and Vehicle Maintenance
NS not shown on graphic		15. Litter and Waste Management

Note: Select an effective combination of control measures from each category, Erosion Control, Sediment Control, and Good Housekeeping. Control measures shall be continually implemented and maintained throughout the project until activities are complete, disturbed areas are stabilized with permanent erosion controls, and the local agency has signed off on permits that may have been required for the project. Inspect and maintain the control measures before and after rain events, and as required by the local agency or state permit.

More detailed information on the BMPs can be found in the related California Stormwater Quality Association (CASQA) and California Department of Transportation (Caltrans) BMP Factsheets. CASQA factsheets are available by subscription in the California Best Management Practices Handbook Portal: Construction at <http://www.casqa.org>. Caltrans factsheets are available in the Construction Site BMP Manual March 2003 at <http://www.dot.ca.gov/hq/construction/stormwater/manuals.htm>. Visit www.mcsotppp.org for more information on construction site management and Erosion and Sediment Control Plans.

If you require materials in alternative formats, please contact:
415-473-4381 voice/TTY or disabilityaccess@co.marin.ca.us

Control Measure	General Description
N/A Scheduling	Plan the project and develop a schedule showing each phase of construction. Schedule construction activities to reduce erosion potential, such as scheduling ground disturbing activities during the summer and phasing projects to minimize the amount of area disturbed. For more info see the following factsheets: CASQA: EC-1; or Caltrans: SS-1.
1. Preserve Existing Vegetation and Creek Setbacks	Preserve existing vegetation to the extent possible, especially along creek buffers. Show creek buffers on maps and identify areas to be preserved in the field with temporary fencing. Check with the local Planning and Public Works Departments for specific creek set back requirements. For more info see the following factsheets: CASQA: EC-2; or Caltrans: SS-2.
2. Soil Cover	Cover exposed soil with straw mulch and mulch (or equivalent). For more info see the following factsheets: CASQA: EC-3, EC-8, EC-6, EC-7, EC-8, EC-14, EC-16; or Caltrans: SS-2, SS-4, SS-5, SS-6, SS-7, SS-8.
3. Soil Preparation/Roughening	Soil preparation is essential to vegetation establishment and BMP installation. It includes soil testing and amendments to promote vegetation growth as well as roughening surface soils by mechanical methods (decompacting, scarifying, stair stepping, etc.). For more info see the following factsheets: CASQA: EC-15.
4. Erosion Control Blankets	Install erosion control blankets (or equivalent) on disturbed sites with 3:1 slopes or steeper. Use wildlife-friendly blankets made of biodegradable natural materials. Avoid using blankets made with plastic netting or fixed aperture netting. See http://www.coastal.ca.gov/wildlife/Friendly_Products.pdf For more info see the following factsheets: CASQA: EC-1; or Caltrans: SS-4.
5. Revegetation	Re-vegetate areas of disturbed soil or vegetation as soon as practical. For more info see the following factsheets: CASQA: EC-4; or Caltrans: SS-4.
Sediment Control Best Management Practices	
6. Tracking Controls	Stabilize site entrance to prevent tracking soil offsite. Inspect streets daily and sweep street as needed. Require vehicles and workers to use stabilized entrance. Place crushed rock 12-inches deep over a geotextile, using angular rock between 4 and 6-in. Make the entrance as long as can be accommodated on the site. Ideally long enough for 2 revolutions of the maximum tire size (16-20 feet long for most light trucks). Make the entrance wide enough to accommodate the largest vehicle that will access the site. Ideally 10 feet wide with sufficient radii for turning in and out of the site. Rumble pads or rumble racks can be used in lieu of or in conjunction with rock entrances. Wheel washes may be needed where space is limited or where the site entrance and sweeping is not effective. For more info see the following factsheets: CASQA: TC-1; TC-3; or Caltrans: TC-1; TC-3.
7. Fiber Rolls	Use fiber rolls as a perimeter control measure, along contours of slopes, and around soil stockpiles. On slopes space rolls 10 to 20 feet apart (using closer spacing on steeper slopes). Install parallel to contour. If more than one roll is used in a row overlap roll do not abut. J-hook end of roll up slope. Install rolls per other Type 1 (stake rolls into shallow trenches) or Type 2 (stake in front and behind roll and back with rope). Use wildlife-friendly fiber rolls made of biodegradable natural materials. Avoid using fiber rolls made with plastic netting or fixed aperture netting. See http://www.coastal.ca.gov/wildlife/Friendly_Products.pdf Manufactured linear sediment control or compost socks can be used in lieu of fiber rolls. For more info see the following factsheets: CASQA: SE-5 (Type 1); SE-12; SE-13; or Caltrans: SC-5 (Type 1 and Type 2).
8. Silt Fence	Use silt fence as a perimeter control measure, and around soil stockpiles. Install silt fence along contours. Key silt fence into the soil and stake. Do not use silt fence for concentrated water flow. Install fence at least 3 feet back from the slope to allow for sediment storage. Wire backed fence can be used for extra strength. Avoid installing silt fence on slopes because they are hard to maintain. Manufactured linear sediment control can be used in lieu of silt fences. For more info see the following factsheets: CASQA: SE-1; SE-12; or Caltrans: SC-1.
9. Drain Inlet Protection	Use gravel bags, (or similar product) around drain inlets located both onsite and in gutter as a last line of defense. Bags should be made of a woven fabric resistant to photo-degradation filed with 0.5-1-in washed crushed rock. Do not use sand bags or silt fence fabric for drain inlet protection. For more info see the following factsheets: CASQA: SE-10; or Caltrans: SC-10.
N/A Trench Dewatering	Follow MCSOTPPP BMPs for trench dewatering: http://www.marincounty.org/depts/water/conservation/mcsotppp/sharing.html or http://www.marincounty.org/depts/water/conservation/mcsotppp/sharing.html For more info see the following factsheets: CASQA: NS-2; or Caltrans: NS-2.
Good Housekeeping Best Management Practices	
10. Concrete Washout	Construct a lined concrete washout site away from storm drains, waterbodies, or other destinations. Ideally, place adjacent to stabilized entrance. Clean as needed and remove at end of project. For more info see the following factsheets: CASQA: WM-8; or Caltrans: WM-8.
11. Stockpile Management	Cover all stockpiles and landscape material and berm properly with fiber rolls or sand bags. Keep behind the site perimeter control and away from waterbodies. For more info see the following factsheets: CASQA: WM-3 or Caltrans: WM-4.
12. Hazardous Material Management	Hazardous materials must be kept in closed containers that are covered and within secondary containment; do not place containers directly on soil. For more info see the following factsheets: CASQA: WM-6; or Caltrans: WM-6.
13. Sanitary Waste Management	Place portable toilets near stabilized site entrance, behind the curb and away from gutters, storm drain inlets, and waterbodies. Tie or stake portable toilets to prevent tipping and equip units with overflow pantry (most vendors provide these). For more info see the following factsheets: CASQA: WM-9; or Caltrans: WM-9.
14. Equipment and Vehicle Maintenance	Prevent equipment fluid leaks onto ground by placing drip pans or plastic tarps under equipment. Immediately clean up any spills or drips. For more info see the following factsheets: CASQA: NS-8, NS-9, and NS-10; or Caltrans: NS-8, NS-9, and NS-10.
15. Litter and Waste Management	Designate waste collection areas on site. Use watertight dumpsters and trash cans, including for leaks. Cover at the end of each work day and when it is raining or windy. Arrange for regular waste collection. Pick up site litter daily. For more info see the following factsheets: CASQA: WM-5; or Caltrans: WM-5.



Project Name: _____
Project Location: _____
Building Permit #: _____
Owner Name: _____
Telephone: _____

Project Sq. Ft: _____
Contractor Name: _____
Telephone: _____

EASY METHOD

STEP 1
Project owners, contractors or other permit applicants must complete this form and sign on the next page.

STEP 2
Self-haul or have your debris box hauler deliver C&D materials to a Certified Facility for recycling.

STEP 3
Collect receipts from Certified Facilities for all loads, staple them to the "Post Construction Recycling Documentation" form (next page), and turn in the completed form prior to final inspection.

ADVANCED METHOD

STEP 1
Project owners, contractors or other permit applicants must review CALGreen code Title 24 and understand the requirements of Section 4.408, 5.408, 301.1.1 and 301.3.

STEP 2
Develop a Construction Waste Management Plan (CWMP). Submit the Pre-Construction Plan and your CWMP with your permit application. Keep copies for yourself.

STEP 3
Implement your CWMP. Provide complete documentation of recycling prior to final inspection.

- EASY METHOD:**
- Reuse and/or deconstruct first.
 - Direct all C&D materials to a Certified Facility.
 - Save documentation of recycling and submit prior to final inspection.

- ADVANCED METHOD:**
- Develop a Construction Waste Management Plan (CWMP) as required and described under CALGreen code Title 24. Refer to CALGreen Chapter 8 for an example CWMP: <http://codes.iccsafe.org/app/book/toc/2016/California/Green/Index.html>. Identify construction and demolition waste materials that will be generated during this project, and how they will be diverted (reduce waste, recycling, reuse on the project, or salvage for future use or sale) or disposed. Please note that your project must meet the CALGreen requirement of minimum 65% diversion or more stringent local requirements.
 - Construction material generated on this project for transport to a recycling facility will be: (check appropriate box)
 - Sorted on-site
 - Deconstructed and/or reused
 - Below the threshold of disposal per square foot under CALGreen
 - The method of waste tracking to be used on this project will be: (check one box)
 - Weight
 - Volume
 - I hereby (through selecting "Advanced Method" and signing below) certify that this project will adhere to the following:
 - Every effort will be made to apply reuse and/or recycling measures to reduce the amount of construction waste and other materials sent to landfill. Whenever possible, site-sorted debris boxes shall be used to segregate construction materials to maximize materials diversion.
 - All personnel who perform any work on the project site will receive and read a copy of the CWMP. Additionally, all personnel shall be instructed on the location and proper use of debris boxes for disposal of C&D materials.
 - The process of waste management, recycling and reuse of construction materials will be monitored regularly to ensure compliance with the CWMP during the project.
 - A record will be kept of the total amount of construction materials leaving the project site by weight or by volume and how these materials will be disposed or processed. This includes copies of tickets or detailed receipts from all loads of C&D materials removed from the project site, and documentation of which facility or facilities the material was delivered to.
 - All supporting documentation which demonstrates compliance with the CWMP, CALGreen, and required diversion will be provided to the permitting jurisdiction upon completion of the project. You must calculate your diversion rate as part of this documentation!

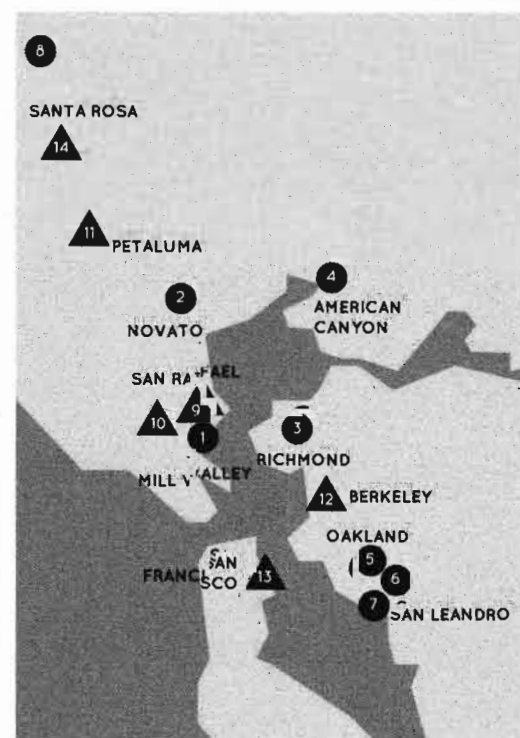
I certify under penalty of perjury that I will recycle C&D materials from my project via (select one):

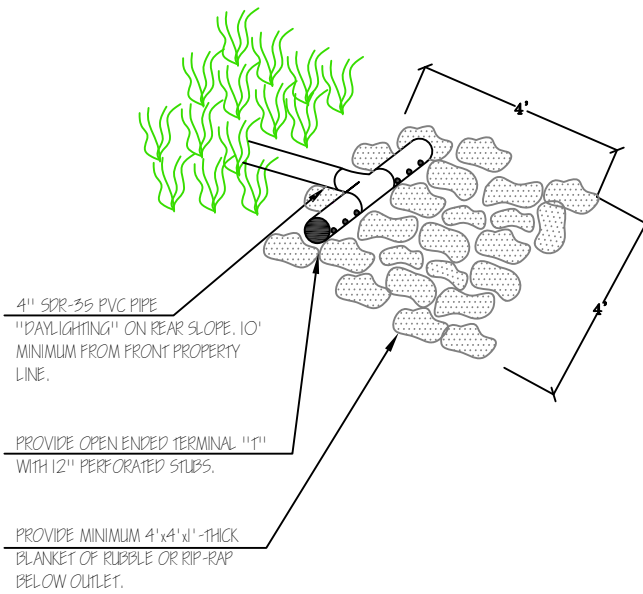
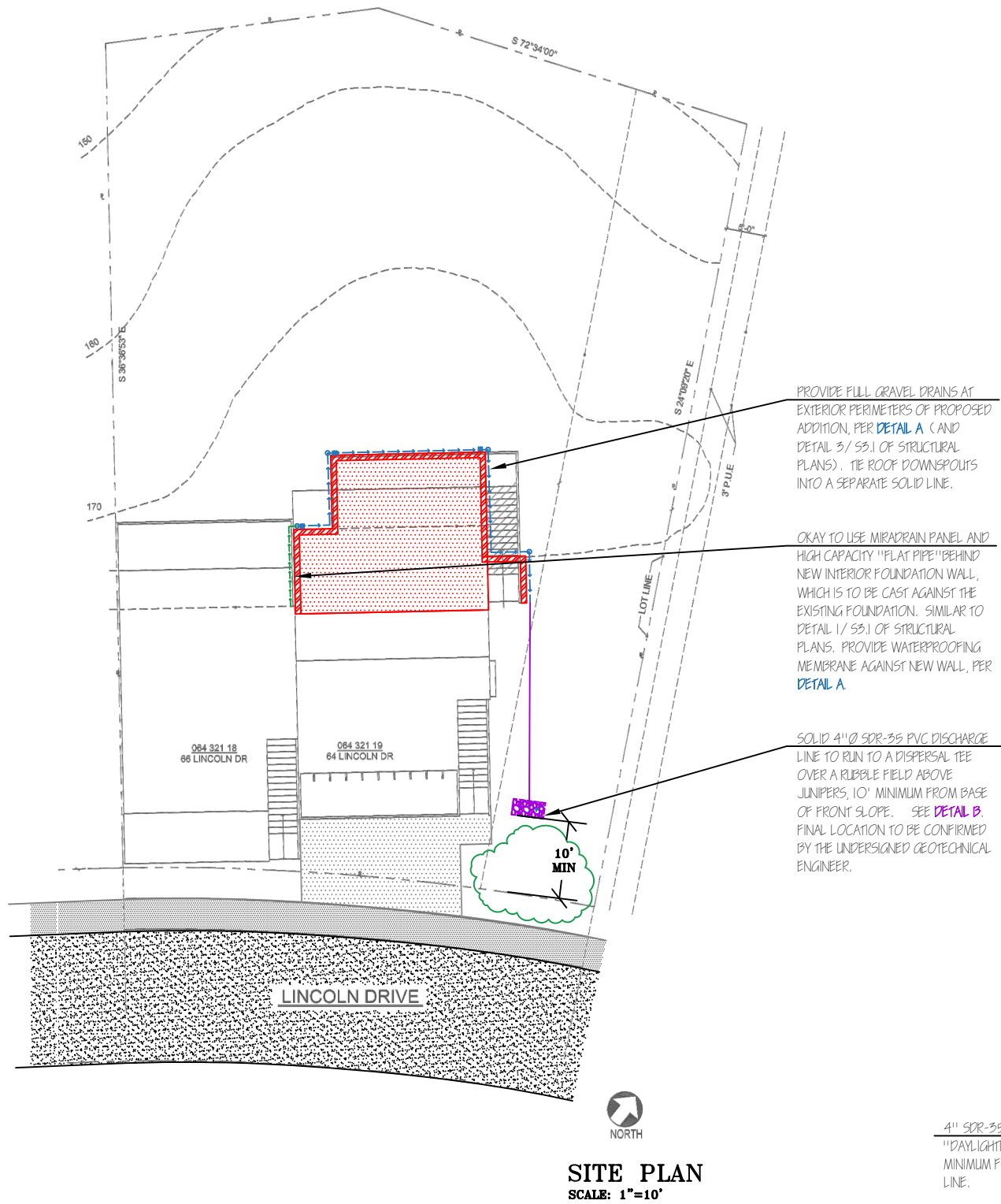
- ☐ **THE EASY METHOD:** Direct C&D materials to a Certified Facility (see "Certified Facilities List and Map") and submit documentation of recycling from Certified Facilities prior to final inspection.
- ☐ **THE ADVANCED METHOD:** Ensure and prove recycling of C&D materials via your CWMP. Requires submission of detailed information per CALGreen code, careful tracking of all materials generated by your project, and submission of documentation of recycling prior to final inspection.

PRINT NAME _____ SIGNATURE _____ DATE _____

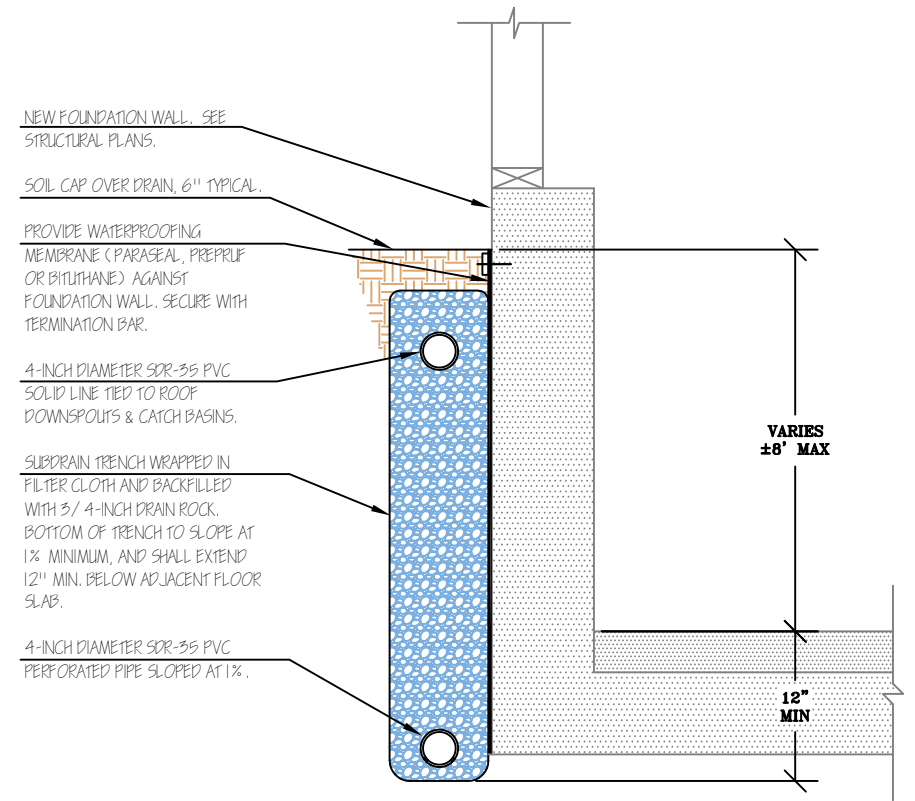
Contact Certified Facilities for rates and materials accepted. All Certified Facilities meet CALGreen minimum diversion requirements. [Facilities indicated with asterisk (*) meet Tier 2 ≥ 75% diversion.] Certification updated and verified in 2016.

Mixed C&D Processing Facilities	
1. Marin Resource Recovery Center* 565 Jacoby St. San Rafael, CA 94901 (415) 485-5646 marinresourcecenter.com/ center-mrrc/	2. Redwood Landfill & Recycling Center* 8950 Redwood Highway Novato, CA 94945 (415) 408-9052 redwoodlandfill.wm.com
3. West Contra Costa Sanitary Landfill* 8951 Parr Blvd. American Canyon, CA 94801 (510) 970-2724 site.northcoastrecycling.com/ pages/candd.aspx	4. Devin Road Recycling & Transfer Facility 889 Devin Rd. American Canyon, CA 94503 (707) 258-9005 nabarescycle.com/ devinroadrecycling/
5. Asphalt Shingle Recyclers, LLC* (source separated inerts and asphalt shingles only) 5900 Coliseum Way Oakland, CA 94621 (510) 636-1166 asrecyclers.com	6. Commercial Waste & Recycling, LLC* 725 Independent Rd. San Leandro, CA 94577 (510) 636-0852 commercialwasteandrecycling.com
7. Davis Street Transfer Station* 2615 Davis St. San Leandro, CA 94577 (510) 638-2303 davisstreet.wm.com	8. Windsor Material Recovery Facility 590 Caletti Ave. Windsor, CA 95092 (877) 698-8473 pacificsanitation.com/mrf-recycle-facility
9. Marin Community Benefit Cooperative* 844 B St. San Rafael, CA 94901 (415) 454-2948	10. Urban Ore* 200 Murray St. Berkeley, CA 94710 (510) 841-7283 urbanore.com
11. The Away Station* 108 Broadway Blvd. Fairfax, CA 94930 (415) 453-4221 theawaystation.org	12. Building Resources* 701 Amador St. San Francisco, CA 94124 (415) 285-7814 buildingresources.org
13. Heritage Salvage* 1473 Petaluma Blvd. South Petaluma, CA 94952 (707) 762-4277 heritagesalvage.com	14. Daniel O. Davis, Inc.* 1051 Todd Rd. Santa Rosa, CA 95407 (707) 585-1903 davidemolition.com





DETAIL B:
SLOPE DISSIPATER
SCALE: N.T.S.



DETAIL A:
SUBDRAIN AT FOUNDATION WALL
SCALE: N.T.S.

DRAINAGE NOTES:

- 1: AT INTERIOR FOUNDATION WALL WHICH IS TO BE CAST AGAINST AN EXISTING FOUNDATION, A MIRADRAIN PANEL MAY BE INSTALLED AGAINST THE BANK IN LIEU OF A FULL GRAVEL DRAIN, WITH A HIGH CAPACITY DRAIN SET BEHIND THE FOOTING. PROVIDE WATERPROOFING AS SHOWN ON **DETAIL A**.
- 2: ALL PIPING OUTSIDE OF BUILDING FOOTPRINT SHALL CONSIST OF 4" Ø SDR-35 PVC, AND SHALL BE SLOPED AT 1% MINIMUM.
- 3: ENGINEER SHALL INSPECT ALL DRAINAGE INSTALLATIONS PRIOR TO PLACEMENT OF DRAIN ROCK OR BACKFILL.
- 4: CONTRACTOR SHOULD BE AWARE OF OSHA TRENCHING REGULATIONS AND SHALL BE SOLELY RESPONSIBLE FOR IMPLEMENTING SHORING, AS WELL AS ALL OTHER ASPECTS OF JOBSITE SAFETY.

